



Cleveland Board of Zoning Appeals

Monday April 11, 2022

****PLEASE MUTE YOUR MICROPHONE****

Kelley Britt, Board Chair

Elizabeth Kukla, Secretary

Cleveland Board of Zoning Appeals

April 11, 2022

Preamble

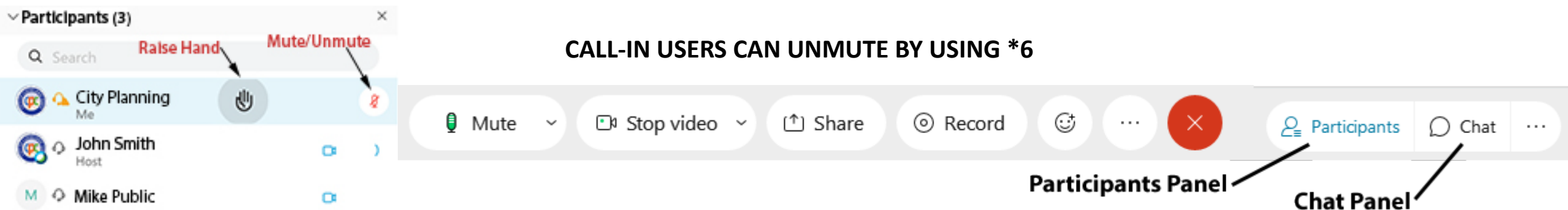
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF THE CITY'S OPEN MEETING LAW, AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK.

WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



Cleveland Board of Zoning Appeals

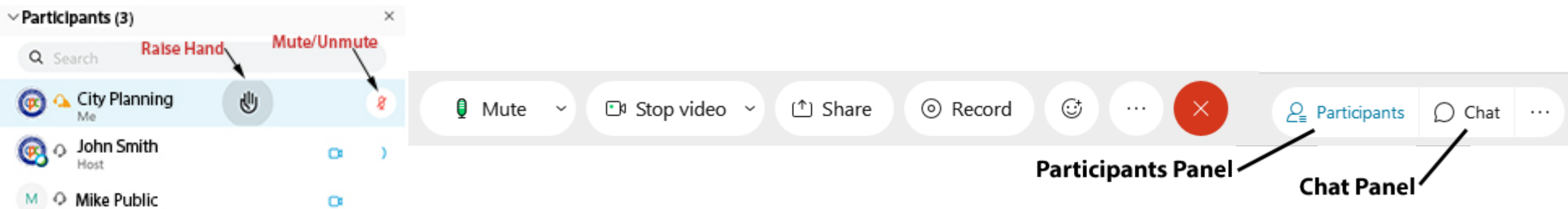
April 11, 2022

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE FOR PUBLIC
VIEW.
WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A
PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.**

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER HAVE BEEN CONSIDERED.

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



Cleveland Board of Zoning Appeals

Call to Order & Roll Call



Cleveland Board of Zoning Appeals

Postponements/Withdrawals





NONE TODAY

Cleveland Board of Zoning Appeals

Public Hearing



Public Hearing

Calendar No. 22-040:

3512 Denison Avenue

Ward 14



Clebargains LLC., owner proposes to establish tattoo shop in a C1 Local Retail Business District. The owner appeals for relief from the following sections of the Cleveland Codified Ordinances:

1. 343.01(b) which states that tattooing use is not permitted in a Local retail Business district but is first permitted in a General Retail Business district; per Zoning Code section 343.11(b)(2)(P).
2. 347.12(b)(1) which states that tattooing use must be at least 1,000 feet from a Residence District or school. The proposed use is abutting and within 1,000 feet of Denison Elementary School at 3799 Denison Avenue. (Filed March 24, 2020)



Public Hearing

Calendar No. 22-040:

3512 Denison Avenue

Ward 14



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.



HISTORY OF THE PROPERTY





LEGAL STANDARD

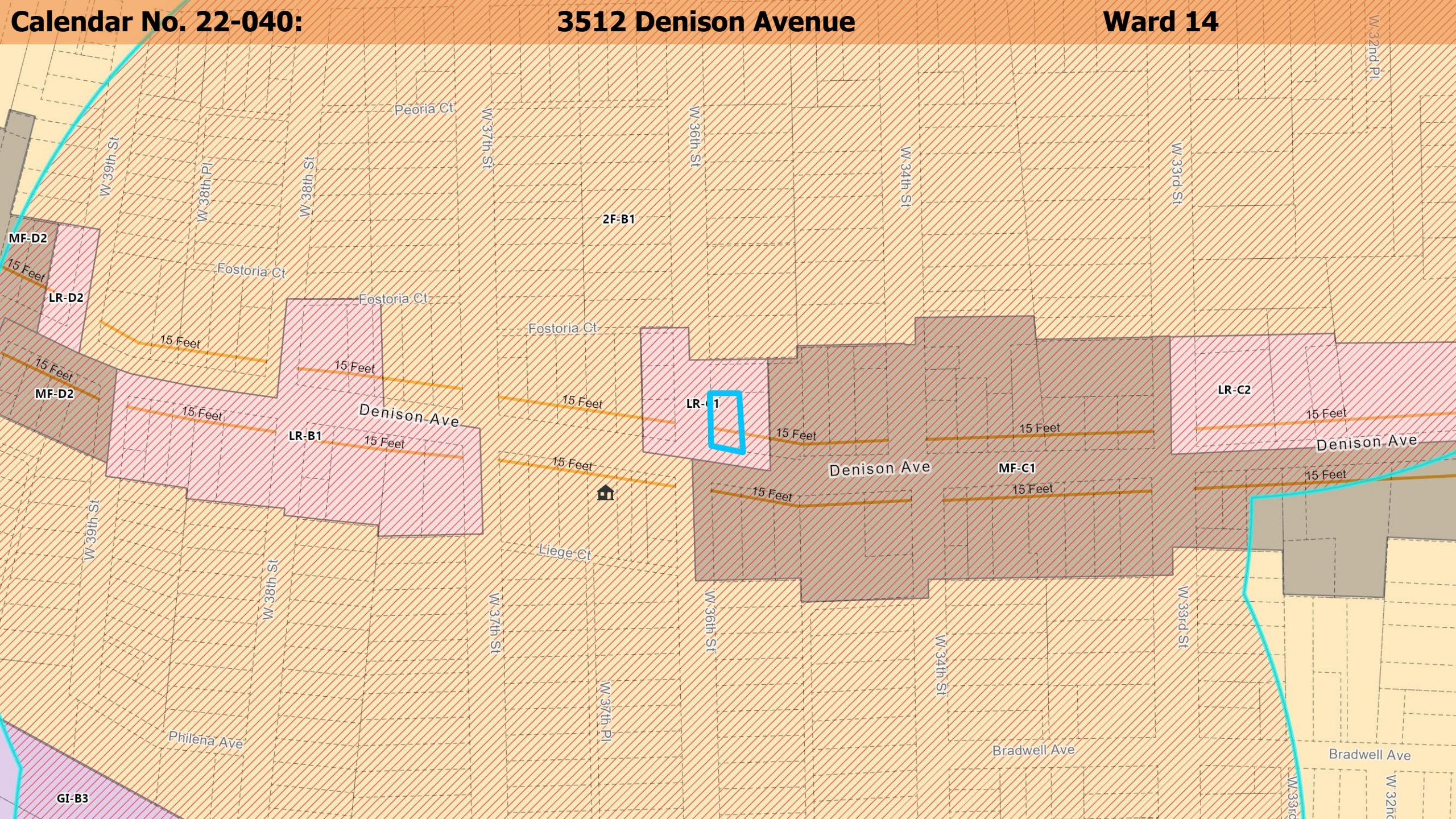
Madam Chair, Members of the Board, Appellant is requesting a use variance.

To obtain the use variance, Appellant must prove that denying the request:

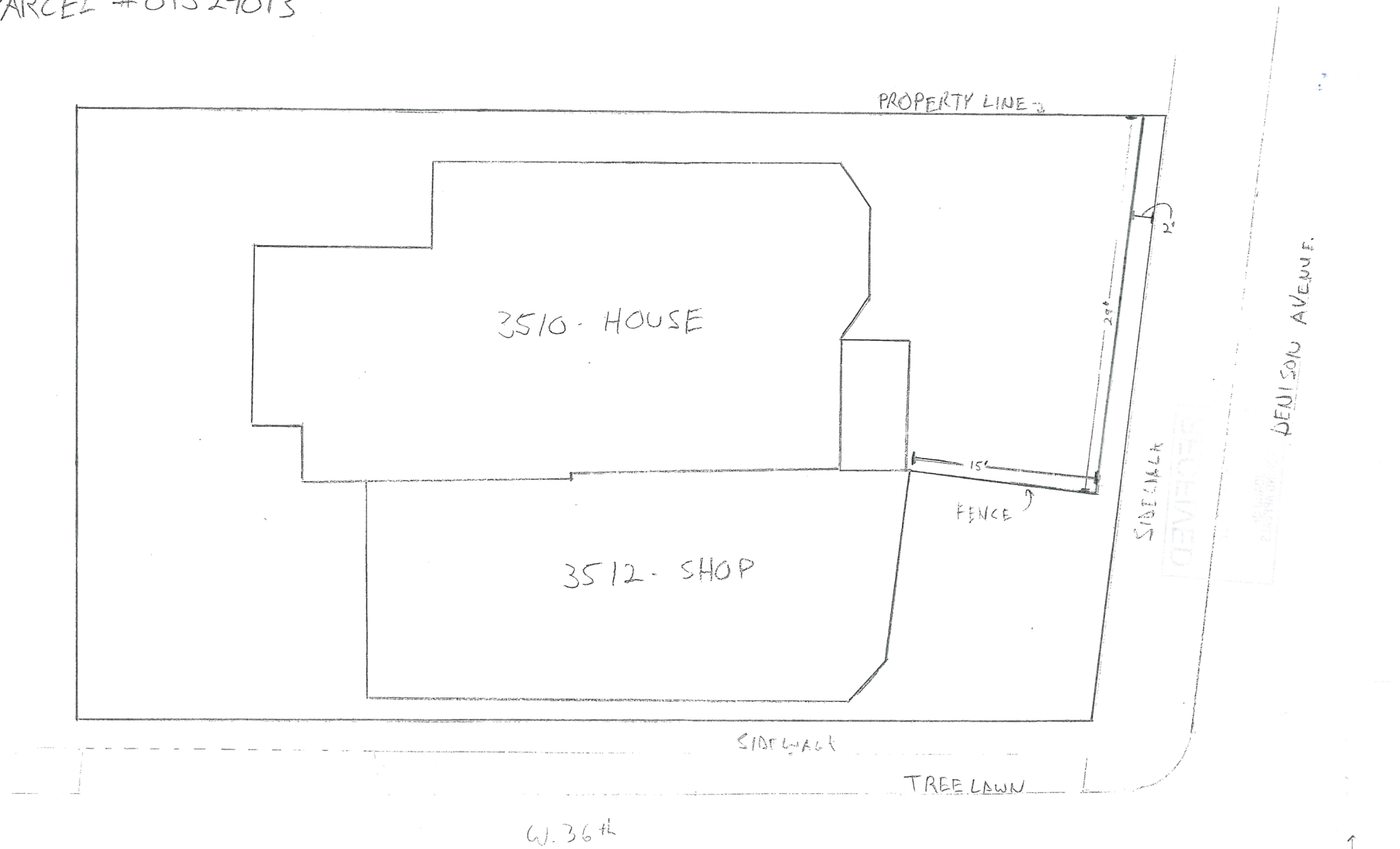
1. Will result in an **unnecessary hardship** particular to the property such that there will be no economically feasible use of the property without the variance;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.







PARCEL #01524013



SITE PLAN (FENCE)
Scale: $\frac{1}{8}" = 1'0"$

Property line: _____
Fence line: _____

Public Hearing

Calendar No. 22-019:

2062 W. 33 Street

Ward 3

Dan Dureiko, owner, proposes to erect a two-story single-family residence with attached garage in a B1 Two-Family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 349.07(a) which states that driveway and maneuvering area shall be paved and properly graded for drainage of lot.
2. Section 357.08(b)(2) which states that the required rear yard is 25 feet, and the appellant is proposing 22 feet.
3. Section 357.13 (c) which states that a window well is not a permitted interior side yard encroachment
4. Section 355.04(b) which states that the maximum gross floor area shall not exceed 50 percent of the lot size or in this case 1,370 square feet are allowed, and 1,940 square feet proposed.
5. Section 341.02 which states that City Planning approval is required before issuance of permit. (Filed February 7, 2022)



Public Hearing

Calendar No. 22-019:

2062 W. 33 Street

Ward 3



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HISTORY OF THE PROPERTY





LEGAL STANDARD

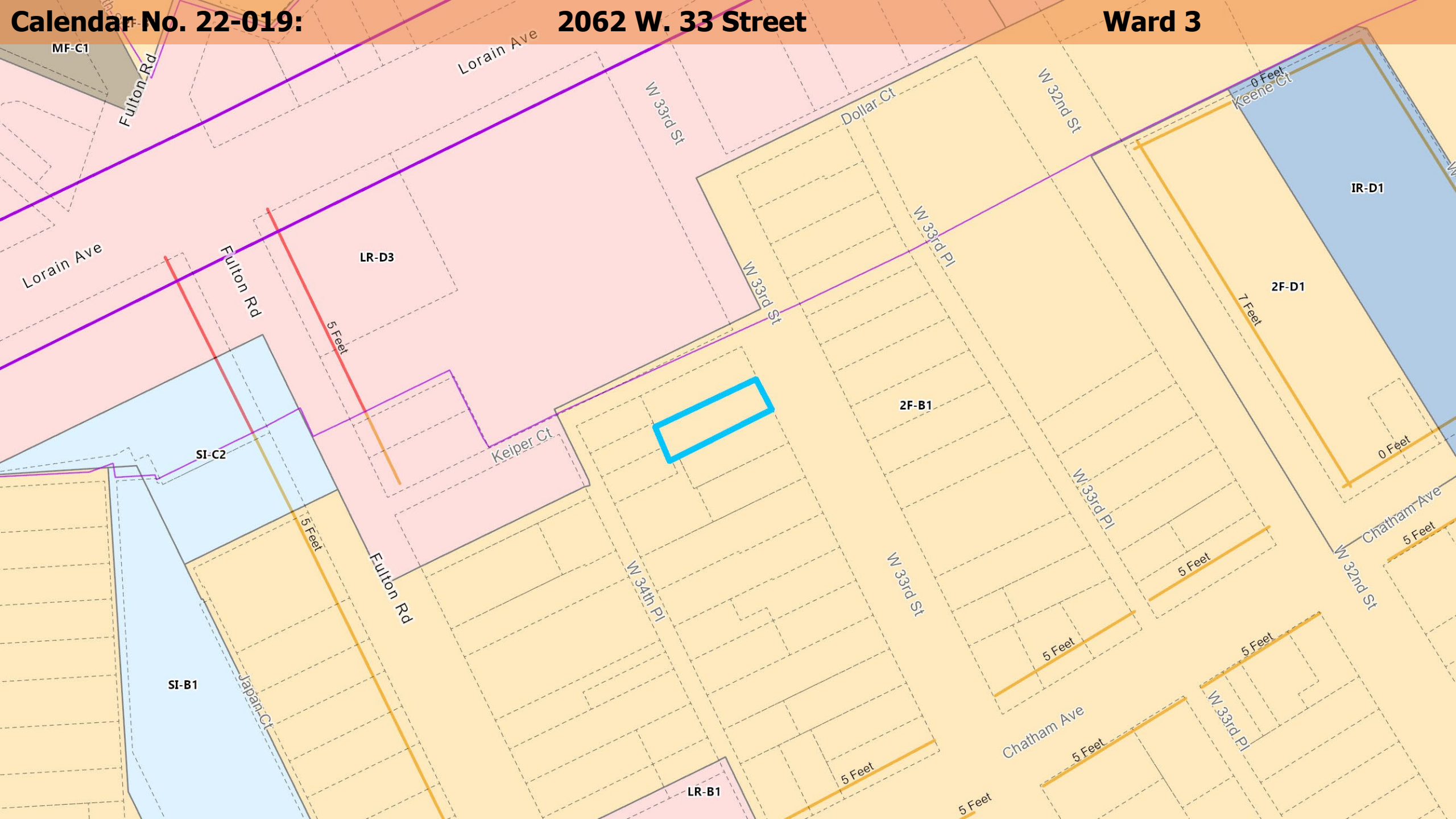
Madam Chair, Members of the Board, Appellant is requesting area variances from the off-street parking, required rear yard, yard encroachment, and maximum gross floor area regulations of the zoning code.

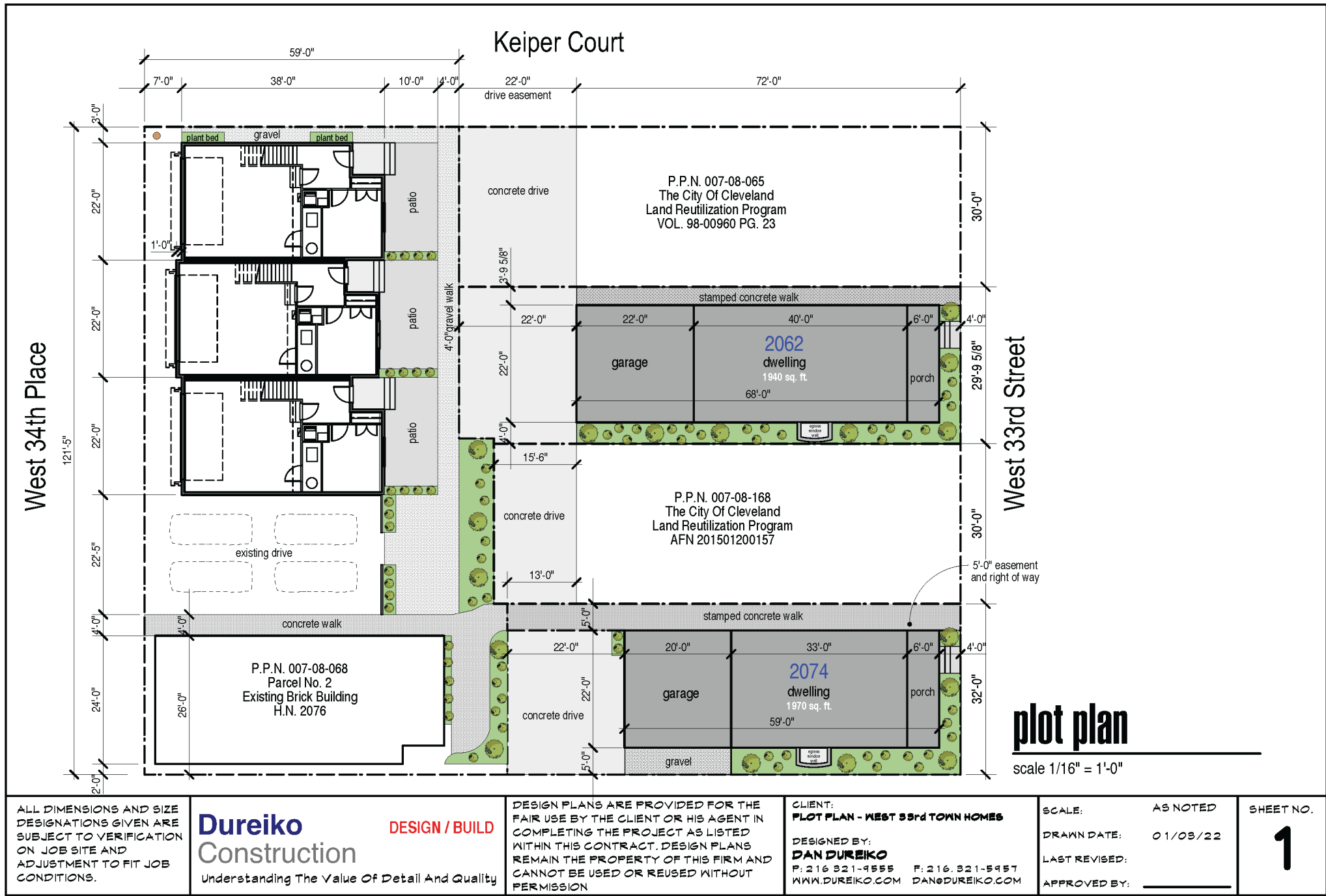
To obtain the area variances, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variances will not be contrary to the purpose and intent of the zoning code.









SITE IMPROVEMENT PLAN

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA AND STATE OF OHIO AND KNOWN AS BEING PART OF SUBLOT NOS. 264 AND 265 IN THE BARBER AND LORDS SUBDIVISION OF PART OF ORIGINAL BROOKLYN TOWNSHIP LOT NOS. 51, 52, 69 AND 70, AS SHOWN BY THE RECORDED PLAT IN VOLUME 11 OF MAPS, PAGE 26 OF CUYAHOGA COUNTY RECORDS.

DEED REFERENCES: P.P.N. 007-08-066
Dan Dureiko
AFN 202105170362

P.P.N. 007-08-176
Dan Dureiko
AFN 202112200487

Site Address: V/L West 33rd Place

NOTES:

- SEWER DEPTHS TO BE VERIFIED PRIOR TO EXCAVATION.
- INSTALL SEWER WITH MINIMUM 1% SLOPE.
- CLEANOUTS TO BE PROVIDED AT ALL SEWER BENDS.
- BOTTOM OF FOOTERS TO BE MINIMUM 42" BELOW GRADE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION.
- MEET EXISTING GRADES ALONG PROPERTY LINES.
- ANY EXISTING SIDEWALK IN DISREPAIR MUST BE REPLACED.
- EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO EXCAVATION AND COMPLY WITH "SPECIFICATIONS FOR INDIVIDUAL LOT PROTECTION" AND "EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES".
- STREET OPENING PERMIT AND FULL TIME INSPECTION REQUIRED FOR WORK IN THE RIGHT-OF-WAY OR EASEMENT AREA.
- BUILDER AND OWNER RESPONSIBILITY FOR FINAL GRADING AND DRAINAGE.
- ALL TEST TEES SHALL HAVE A METAL CAP OR AN AFFIXED METAL PLATE NO LESS THAN 5 INCHES IN DIAMETER.
- CONSTRUCTION LIMITS MUST BE PROPERLY SECURED, ESPECIALLY WITHIN THE PUBLIC USE AREA.
- CONSTRUCTION MATERIALS AND DEBRIS TO BE ENCLOSED BY A TEMPORARY FENCE, NO BURIAL OF DEBRIS IS PERMITTED.
- TEMPORARY SMOLES OR THE INSTALLATION OF OTHER DRAINAGE IMPROVEMENTS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION SO AS NOT TO CREATE A NUISANCE ON ADJACENT PROPERTIES.
- SPECIAL LANDSCAPING MAY BE REQUIRED TO ALLOW FOR PROPER DRAINAGE.
- UNDERGROUND INFORMATION SHOWN TAKEN FROM IMPROVEMENT PLANS AND TYPE, SIZE AND ELEVATIONS TO BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR MUST CHECK BENCH MARK WITH PERMANENT GRADE BEFORE ANY EXCAVATION OR WORK IS STARTED.
- THIS PLAN FOR SITE PURPOSES ONLY, SEE FOUNDATION PLANS (DATED DEC. 20, 2020) FOR HOUSE DETAILS.

SEWER WORK NOTE:

THE CONTRACTOR MUST OBTAIN A SEWER PERMIT FROM THE CITY OF CLEVELAND, DIVISION OF WATER POLLUTION CONTROL, PRIOR TO PERFORMING THE SEWER WORK. (216) 664-2513.

SEWER MATERIAL OPTIONS:

OUTSIDE OF RIGHT OF WAY:
PVC (707.45) or HOPE (707.33)
IN THE CITY RIGHT OF WAY, INCLUDING TEST TEE:
VITRIFIED CLAY PIPE (VCP) WITH PREMIUM JOINTS
PIPE MATERIAL MUST MEET OR EXCEED ANSI/AWWA STANDARDS.

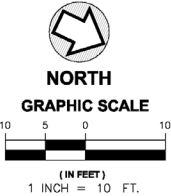
CITY SEWER CONNECTION RECORD:
WEST 33rd STREET
STORM - W.P.C. - BOOK 3, PG. 29
SANITARY - W.P.C. - BOOK 3, PG. 29

BENCH MARK:

BENCH MARK: TOP OF HYDRANT
WEST SIDE OF WEST 33rd ST.
ELEVATION = 688.83

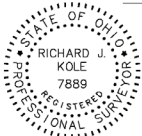
Dimensions shown hereon are expressed in feet and decimal parts thereof. Monuments were found or set as indicated hereon. Bearings shown are to an assumed meridian and are for the sole purpose of describing the relative angular value between lines, all of which I certify to be correct to the best of my knowledge and belief.

Richard J. Kole, Reg. Surveyor #7889 2/18/22
Date



JANUARY 19, 2022
JANUARY 24, 2022
FEBRUARY 18, 2022

P.P.N. 007-08-069
MARY E. WILLIAMS
AFN 199902181524



BMP LEGEND

- SF SILT FENCE or SILT SOCK
- CE CONSTRUCTION ENTRANCE

BENCH MARK
TOP OF HYD.
= 688.83

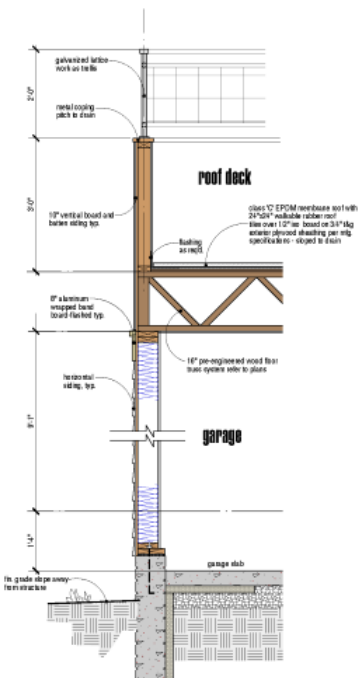
WEST 33rd STREET S.W. 60'

Prepared by:
RMK & ASSOC. CORP.
5316 Ridge Road - Cleveland, Ohio 44129
Phone 440.885.7137 - Fax 440.885.7139
www.rmkassoc.com
File No. 18112 Sln2



- 1) BUILDING CONTRACTOR TO VERIFY ALL MATERIALS, FINISHES AND SIZES PRIOR TO CONSTRUCTION.
- 2) WINDOW DESIGNATIONS ARE REFERENCED AS "GENERIC" WINDOW NUMBERS
- 3) PROVIDE SAFETY GLASS FOR WINDOW GLAZING < 10" A.F.T. OR ADJUST WINDOW SIZE TYP.
- 4) FIELD VERIFY ALL WINDOW LOCATIONS & ROUGH OPENINGS AS REQUIRED WITH WINDOW MANUFACTURER'S SPECIFICATIONS.
- 5) TREATED WOOD NOTICE: ALL ANCHORS, CONNECTORS, FASTENERS ETC. MUST BE OF SUITABLE MATERIAL TO RESIST REACTION OR CORROSION WITH THE TREATED LUMBER. CONSULT WITH LUMBER MANUFACTURER OR MATERIAL SUPPLIER FOR PROPER FASTENERS REQUIRED.

scale 1/4" = 1'-0"



scale 1/4" = 1'-0"

galvanized lattice system additional notes

galvanized lattice system shall be designed by the guard system manufacturer based on the following requirements:

- an inboard to outboard distance of 200 lb
- in any direction at any point along the top rail,
- further design of all components (including the guard system) shall resist a load of 50 lb/ft at the top;
- all resistant design loading shall be applied through the supports to the structure;
- the anchor attachment of the guard system to the structure by the manufacturer shall conform;
- the rails and grid system shall be designed such that a 4" diameter sphere cannot pass through;

scale $3/4" = 1'-0"$

basement floor to main floor
reference floor to floor height = 1.15

Public Hearing

Calendar No. 22-034:

2074 W. 33 Street

Ward 3



Dan Dureiko, owner, proposes to erect a two-story single-family residence with attached garage in a B1 Two-Family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 355.04(a) which states that the minimum lot width for a single-family dwelling in a 'B' Area District is 40 feet and the appellant is proposing 32 feet and 2 inches. This section also states that the minimum lot area for a single-family dwelling in a 'B' Area District is 4800 square feet and the proposed is 2,824 square feet. The maximum gross floor area in a 'B' Area District shall not exceed $\frac{1}{2}$ the lot size therefore 1,412 square feet and the appellant is proposing 1,902 square feet.
2. Section 357.02 which states that no required yard or court shall be reduced or again considered as the yard or court required for any other building or additional construction on the same lot or on an-other lot.
3. Section 337.23(a) unobstructed width of at least 20 feet is required to provide accessibility to each parking garage, a common access to the garage is shown, no separate access to each garage pro-vided.
4. Section 341.02 which stated that City Planning Commission approval is required before issuance of permit. (Filed March 07, 2022)



Public Hearing

Calendar No. 22-034:

2074 W. 33 Street

Ward 3



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HISTORY OF THE PROPERTY





LEGAL STANDARD

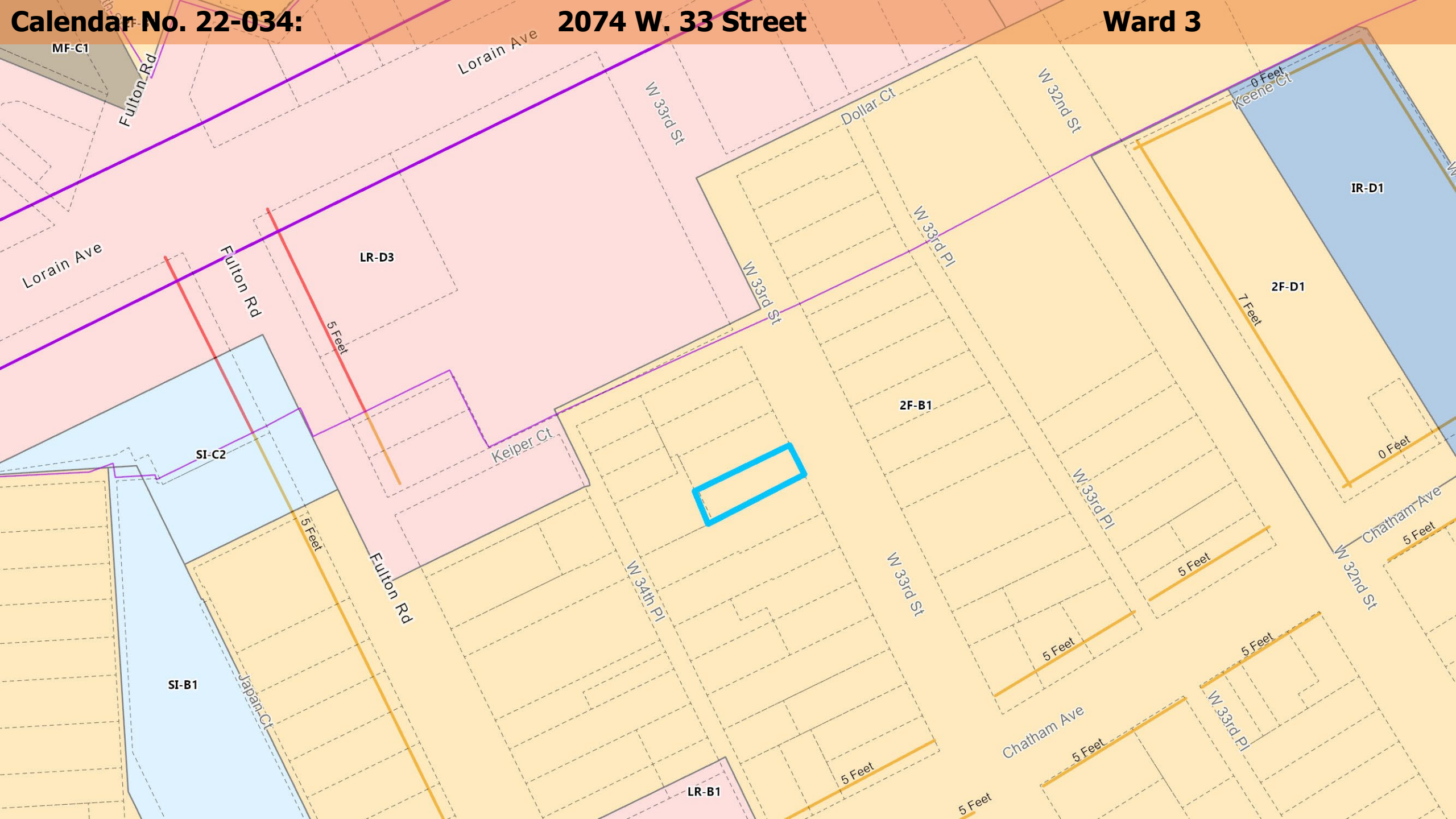
Madam Chair, Members of the Board, Appellant is requesting area variances from the minimum lot width, minimum lot area, maximum gross floor area, independent yard, and off-street parking regulations of the zoning code.

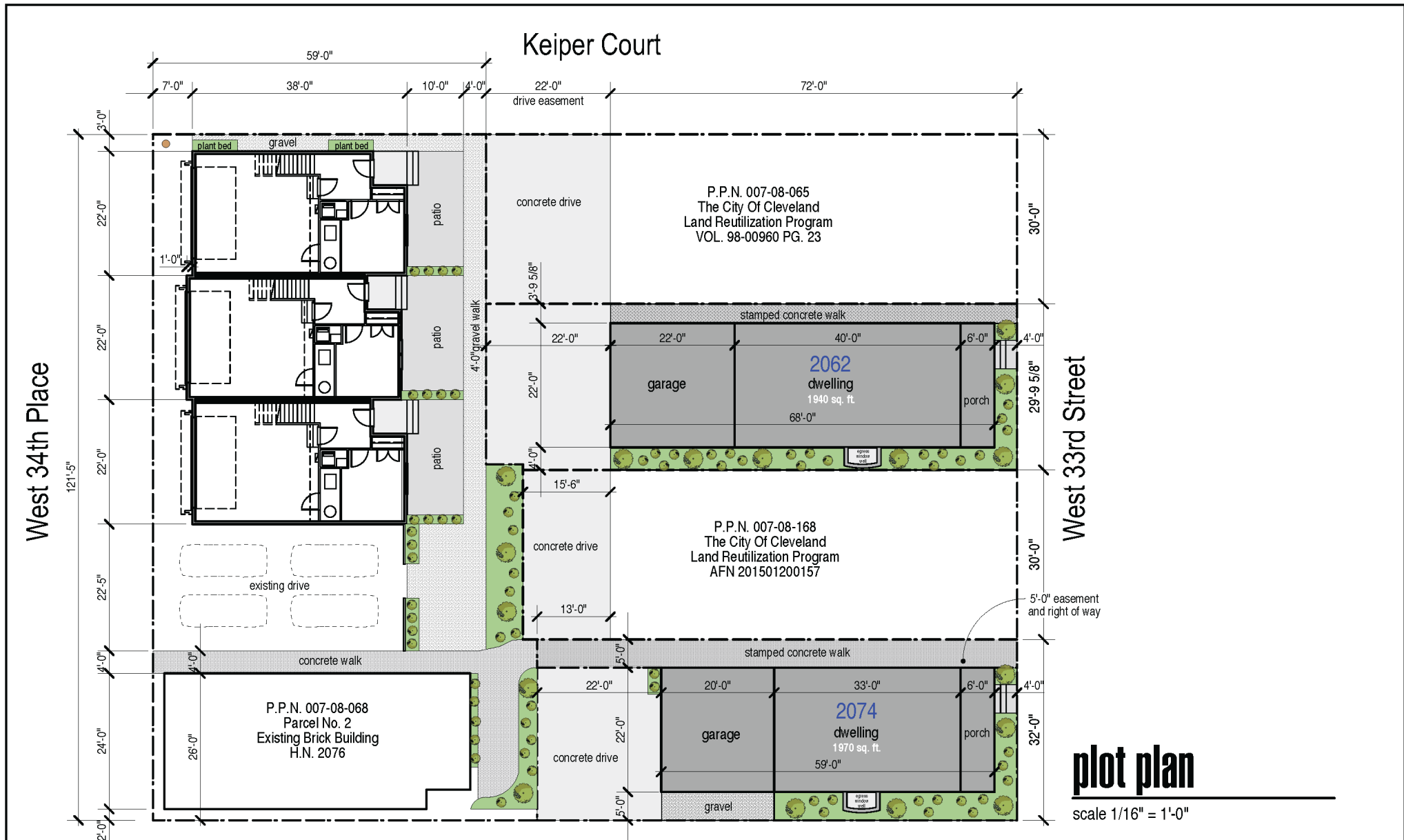
To obtain the area variances, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
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3. That granting the variances will not be contrary to the purpose and intent of the zoning code.









<p>ALL DIMENSIONS AND SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITIONS.</p>	<p>Dureiko Construction</p> <p>DESIGN / BUILD</p> <p>Understanding The Value Of Detail And Quality</p>	<p>DESIGN PLANS ARE PROVIDED FOR THE FAIR USE BY THE CLIENT OR HIS AGENT IN COMPLETING THE PROJECT AS LISTED WITHIN THIS CONTRACT. DESIGN PLANS REMAIN THE PROPERTY OF THIS FIRM AND CANNOT BE USED OR REUSED WITHOUT PERMISSION</p>	<p>CLIENT: PLOT PLAN - WEST 33rd TOWN HOMES</p> <p>DESIGNED BY: DAN DUREIKO P: 216.921-9555 F: 216.921-5957 WWW.DUREIKO.COM DAN@DUREIKO.COM</p>	<p>SCALE: AS NOTED</p> <p>DRAWN DATE: 01/03/22</p> <p>LAST REVISED:</p> <p>APPROVED BY:</p>	<p>SHEET NO.</p> <p>1</p>
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SITE IMPROVEMENT PLAN

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DEED REFERENCES: P.P.N. 007-08-066
Dan Dureiko
AFN 202105170362

P.P.N. 007-08-176
Dan Dureiko
AFN 202112200487

Site Address: V/L West 33rd Place

NOTES:

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2. INSTALL SEWER WITH MINIMUM 1% SLOPE.
3. CLEANOUTS TO BE PROVIDED AT ALL SEWER BENDS.
4. BOTTOM OF FOOTERS TO BE MINIMUM 42" BELOW GRADE.
5. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION.
6. MEET EXISTING GRADES ALONG PROPERTY LINES.
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SEWER MATERIAL OPTIONS:

OUTSIDE OF RIGHT OF WAY:

PVC (707.45) or HDPE (707.33)

IN THE CITY RIGHT OF WAY, INCLUDING TEST TEE:

VITRIFIED CLAY PIPE (VCP) WITH PREMIUM JOINTS

PIPE MATERIAL MUST MEET OR EXCEED ANSI/AWWA STANDARDS.

CITY SEWER CONNECTION RECORD:

WEST 33rd STREET

STORM - W.P.C. - BOOK 3, PG. 29

SANITARY - W.P.C. - BOOK 3, PG. 29

BENCH MARK:

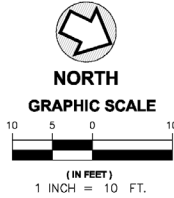
BENCH MARK: TOP OF HYDRANT

WEST SIDE OF WEST 33rd ST.

ELEVATION = 688.83

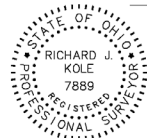
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Richard J. Kole 2/18/22
Richard J. Kole, Reg. Surveyor #7889 Date



JANUARY 19, 2022
JANUARY 24, 2022
FEBRUARY 18, 2022

P.P.N. 007-08-069
MARY E. WILLIAMS
AFN 199902181524



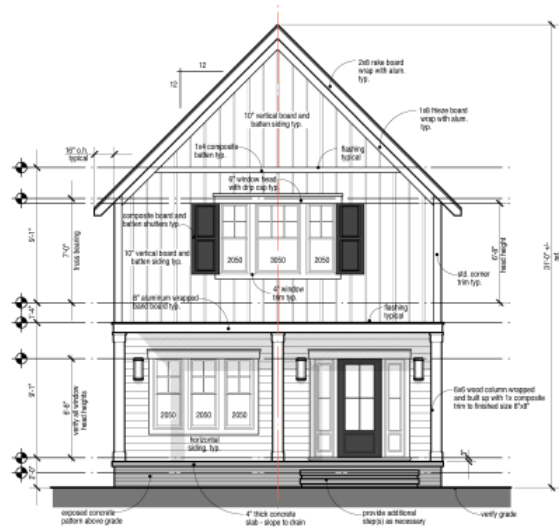
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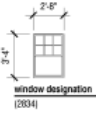
WEST 33rd STREET S.W. 60'

Prepared by:
RMK & ASSOC. CORP.
5316 Ridge Road - Cleveland, Ohio 44129
Phone 440.885.7137 - Fax 440.885.7139
www.rmkassoc.com
File No. 18112 Sln2



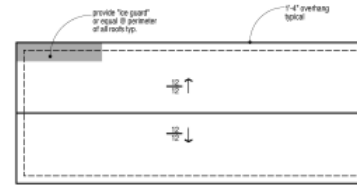
front elevation

scale 1/4" = 1'-0"



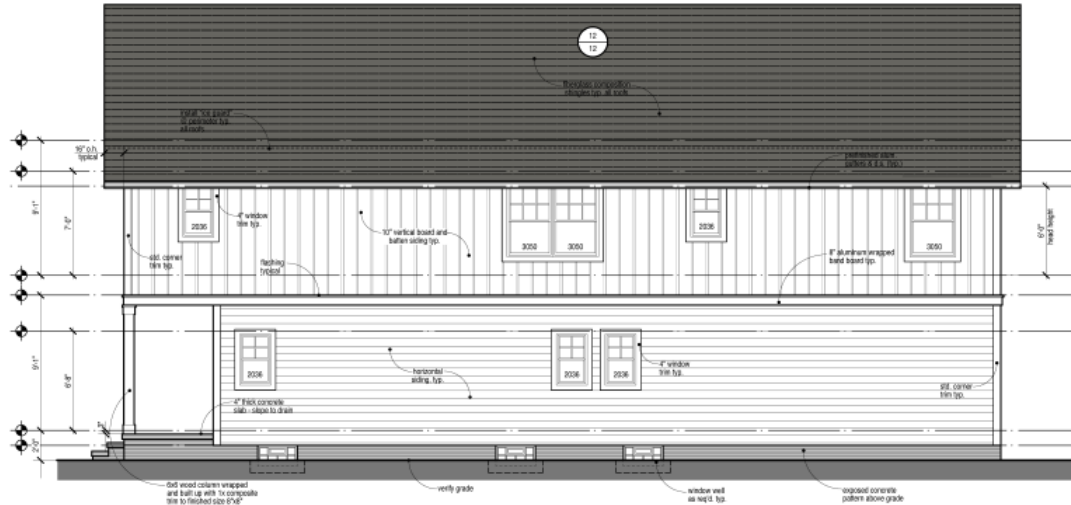
note

1. BUILDING CONTRACTOR TO VERIFY ALL MATERIALS, FINISHES AND SIZES PRIOR TO CONSTRUCTION.
2. WINDOW DESIGNATIONS ARE REFERENCED AS "GENERIC" WINDOW NUMBERS.
3. PROVIDE SAFETY GLASS FOR WINDOW GLAZING < 16" A.F.F. OR ADJUST WINDOW SIZE TYP.
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5. TREATED WOOD NOTICE: ALL ANCHORS, CONNECTORS, FASTENERS ETC. MUST BE OF SUSTAINABLE MATERIAL TO RESIST REACTION OR CORROSION WITH THE TREATED LUMBER. CONSULT WITH MANUFACTURER OR MATERIAL SUPPLIER FOR PROPER FASTENERS REQUIRED.



schematic roof diagram

no scale



right side elevation

scale 1/4" = 1'-0"



design visions, inc.

4053 state road
cleveland, ohio 44109
440-725-2020
designvisions.com

sheet 1 cover sheet
sheet 2 elevations
sheet 3 elevations
sheet 4 foundation plan
sheet 5 floor plan
sheet 6 upper floor plan
sheet 7 sections
sheet 8 details
sheet 9 elev / cross plan

notes:
Contractor shall verify that all applicable codes and standards are followed and that all materials and finishes are as specified. All dimensions and materials shall be verified prior to construction. If any discrepancy is found, the owner shall be notified immediately. The owner shall be responsible for any and all changes to the plan, which shall be noted on the plan, which shall be verified prior to construction of construction.

2074 west 33rd street
cleveland, ohio

Dureiko Construction
DESIGN / BUILD

copyright
The plan of this job is hereby a copyright of the architect and is to be used only for the purpose of the project and is not to be reproduced or used in any other way without the written permission of the architect. Any other use of the plan without the written permission of the architect is prohibited.

approved by owner
final draft
preparation
revised revision
not for construction
approval
record

1970

2

post & column schedule

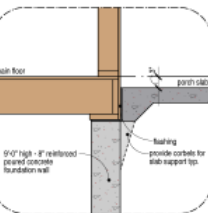
- 1) 44" x 24" 3 1/2" x 5 1/8" PSL
 - 2) 44" x 24" 3 1/2" x 7" PSL
 - 3) 44" x 24" 5 1/4" x 5 1/8" PSL
 - 4) 44" x 24" 5 1/4" x 7" PSL
 - 5) 3 1/2" x 5 1/8" PSL
 - 6) 3 1/2" x 7" PSL
- all header bearings to min. (2) 24" for 4" walls and (2) 24" for 6" walls unless noted otherwise
all points in walls to be laterally braced full length
all points to continue down to spread foundation or solid bearing on structure below
all columns (posts) to have "tapered" post cap and base connection

wood beam schedule

- 1) 2x10s
- 2) 2x10s
- 3) 2x10s
- 4) 2x10s
- 5) 2x10s
- 6) 2x10s
- 7) 2x10s
- 8) 2x10s
- 9) 2x10s
- 10) 2x10s
- 11) 2x10s
- 12) 2x10s
- 13) 2x10s
- 14) 2x10s
- 15) 2x10s
- 16) 2x10s
- 17) 2x10s
- 18) 2x10s
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- 20) 2x10s
- 21) 2x10s
- 22) 2x10s
- 23) 2x10s
- 24) 2x10s
- 25) 2x10s
- 26) 2x10s
- 27) 2x10s
- 28) 2x10s
- 29) 2x10s
- 30) 2x10s
- 31) 2x10s
- 32) 2x10s
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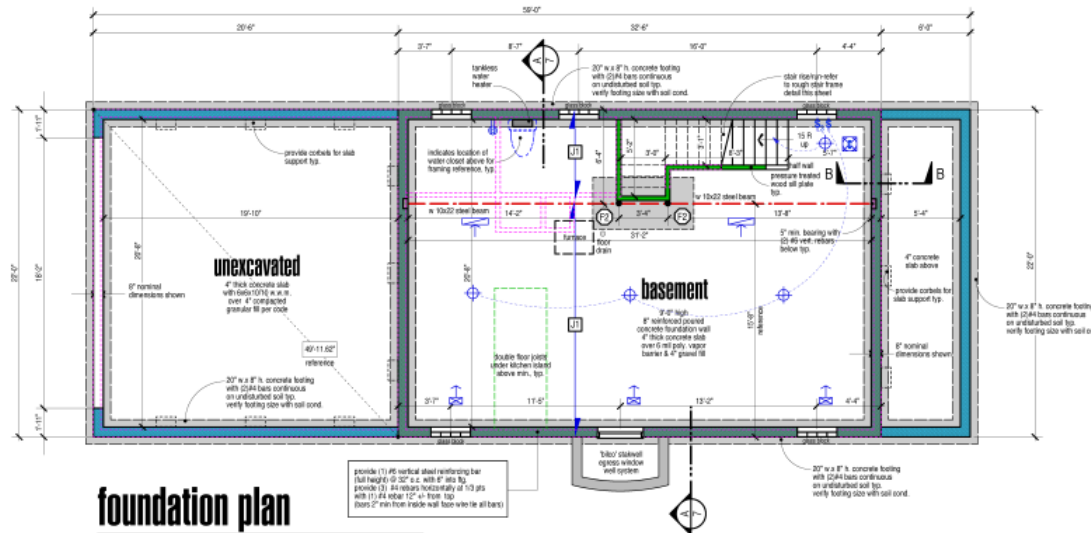
symbol legend

- 1) 44" x 24" 3 1/2" x 5 1/8" PSL
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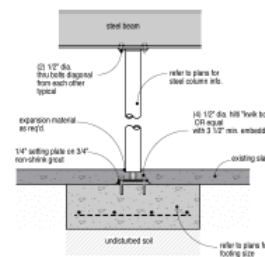
section detail

scale 3/4" = 1'-0"



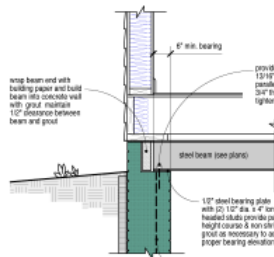
foundation plan

scale 1/4" = 1'-0"



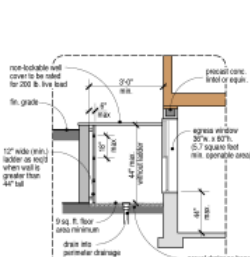
column detail

scale 3/4" = 1'-0"



beam pocket detail

scale 3/4" = 1'-0"



egress window well detail

scale 1/4" = 1'-0"

foundation notes

- 1) 44" x 24" 3 1/2" x 5 1/8" PSL
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floor joist schedule

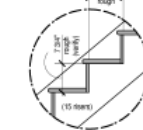
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steel column & footing schedule

- 1) 44" x 24" 3 1/2" x 5 1/8" PSL
- 2) 44" x 24" 3 1/2" x 7" PSL
- 3) 44" x 24" 5 1/4" x 5 1/8" PSL
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steel lintel schedule

- 1) 44" x 24" 3 1/2" x 5 1/8" PSL
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- 3) 44" x 24" 5 1/4" x 5 1/8" PSL
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rough framed stairs

Basement floor to main floor
reference floor to floor height = 116"

2074 west 33rd street
cleveland, ohio

Dureiko Construction
DESIGN/BUILD

approved by:
1) final draft
2) permits
3) structural review
4) final construction
5) permit
6) not for construction
7) approval
8) record

1970

4

notes:
1. ALL DIMENSIONS SHOWN ON THIS PLAN ARE UNLESS OTHERWISE NOTED.
2. BUILDING CONTRACTOR MUST VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL WALL ANGLES ARE 45 DEGREES UNLESS OTHERWISE NOTED.
4. FILL CLARIFY ALL WINDOW LOCATIONS AND ROUGH OPENINGS AS REQUIRED WITH WINDOW MANUFACTURER'S SPECIFICATIONS.
5. PROVIDE SAFETY GLASS FOR WINDOW GLAZING > 10' A.P.F. ON ADJUT WINDOW SIZE TYPE.
6. STRUCTURAL AND FRAMING MEMBERS ARE NOTED AND SIZED BASED ON SPECIES OF LUMBER THAT SATISFIES THE SPAN.
7. BUILDER TO VERIFY THAT ALL CEILING JOISTS AND RAFTERS ARE NOTED AND SIZED BASED ON SPAN AND LOADS AS SHOWN AND VENTILATE AT FOUNDATION AND BE SUPPORTED BY PROPERLY SIZED BRACE OR OTHER AS REQUIRED.
8. CEILING JOIST NOTES: APPLY 10' P.W.O. TO TOP SIDE OF CEILING JOIST MIN. 40' FROM WALL WHEN DOUBLE JOIST RUN PERMITS TO AVOID BEARING WALL. NOTCH FOR RAFTERS AS REQUIRED.
9. TREATED WOOD NOTES: ALL ANCHORS, CONNECTORS, FASTENERS, ETC. MUST BE OF SUITABLE MATERIAL TO RESIST SELECTED CORROSION WITH THE TREATED LUMBER. CONSULT WITH MANUFACTURER OR MATERIAL SUPPLIER FOR PROPER FASTENERS REQUIRED.

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general plan notes

1. ALL DIMENSIONS SHOWN ON THIS PLAN ARE UNLESS OTHERWISE NOTED.
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floor joist schedule

Common Joists: Douglas Fir-Larch (DF) Species per section 42 or as noted unless otherwise noted.

1. 2X10 floor joists @ 16" o.c. with V-bracing @ midspan or as required.
2. 2X10 floor joists @ 12" o.c. with V-bracing @ midspan or as required.
3. 2X10 floor joists @ 16" o.c. double every other joist with V-bracing @ midspan or as required.
4. 2X10 floor joists @ 16" o.c. with V-bracing @ midspan or as required.
5. 2X10 floor joists @ 12" o.c. with V-bracing @ midspan or as required.
6. 2X10 floor joists @ 16" o.c. with V-bracing @ midspan or as required.
7. 2X10 floor joists @ 12" o.c. with V-bracing @ midspan or as required.
8. 2X10 floor joists @ 16" o.c. double every other joist with V-bracing @ midspan or as required.
9. 16" pre-engineered wood floor truss system @ 16" o.c.

post & column schedule

1. 4x4 or 12x4
2. 3 1/2" x 5 1/4" PSL
3. 12x4
4. 3 1/2" x 7" PSL
5. 12x6
6. 3 1/2" x 5 1/4" PSL
7. 4x4 or 14 2x4
8. 3 1/2" x 7" PSL
9. 3 1/2" x 3 1/2" PSL
10. 7/8" solid or steel column

all header bearings to meet (12x4) for 4" walls and (12x6) for 6" walls unless noted otherwise.

all posts in walls to be laterally braced full length.

all posts to continue down to ground foundation or solid bearing on structure below.

all columns (posts) to have "temporary" post cap and base connections.

wood beam schedule

1. 2X10s
2. 1 3/4" x 11 7/8" LVLs
3. 2X10s
4. 1 3/4" x 14" LVLs
5. 1 3/4" x 9 1/4" LVLs
6. 1 3/4" x 14" LVLs
7. 2X12s
8. 1 3/4" x 14" LVLs
9. 2X12s
10. 1 3/4" x 14" LVLs
11. 1 3/4" x 11 7/8" LVLs
12. 1 3/4" x 14" LVLs
13. 1 3/4" x 11 7/8" LVLs
14. 1 3/4" x 20" LVLs
15. 1 3/4" x 11 7/8" LVLs
16. 1 3/4" x 20" LVLs
17. 1 3/4" x 11 7/8" LVLs
18. 1 3/4" x 20" LVLs
19. 1 3/4" x 11 7/8" LVLs
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Public Hearing



Calendar No. 22-036:

1983, 1987, 1991, 1995 W. 58 Place

Ward 15

OKO Townhomes, LLC., owner, proposes to erect a four-story single-family residence with attached garage on a 1,152 square foot lot located in a B1 Two-Family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 355.04(b) which states that the maximum gross floor area in a 'B' Area District shall not exceed $\frac{1}{2}$ the lot area; this section also states that the minimum lot area for a single-family house is 4800 square feet. The minimum lot width is 40 feet and 35 are proposed.
2. 353.01 which states that in a '1' Height District building height shall not exceed 35 feet and the appellant is proposing 40 feet.
3. Section 357.08(a)(3) which states that the depth of rear yard of an irregular shaped lot shall not be less than 10 feet in depth at any point and the appellant is proposing 9.75 feet (including half of the alley- reference zoning section 358 (a)(4)). (Filed March 07, 2022)



Public Hearing

Calendar No. 22-036:

1983, 1987, 1991, 1995 W. 58 Place

Ward 15



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.

Public Hearing

Calendar No. 22-036:

1983, 1987, 1991, 1995 W. 58 Place

Ward 15



HISTORY OF THE PROPERTY





LEGAL STANDARD

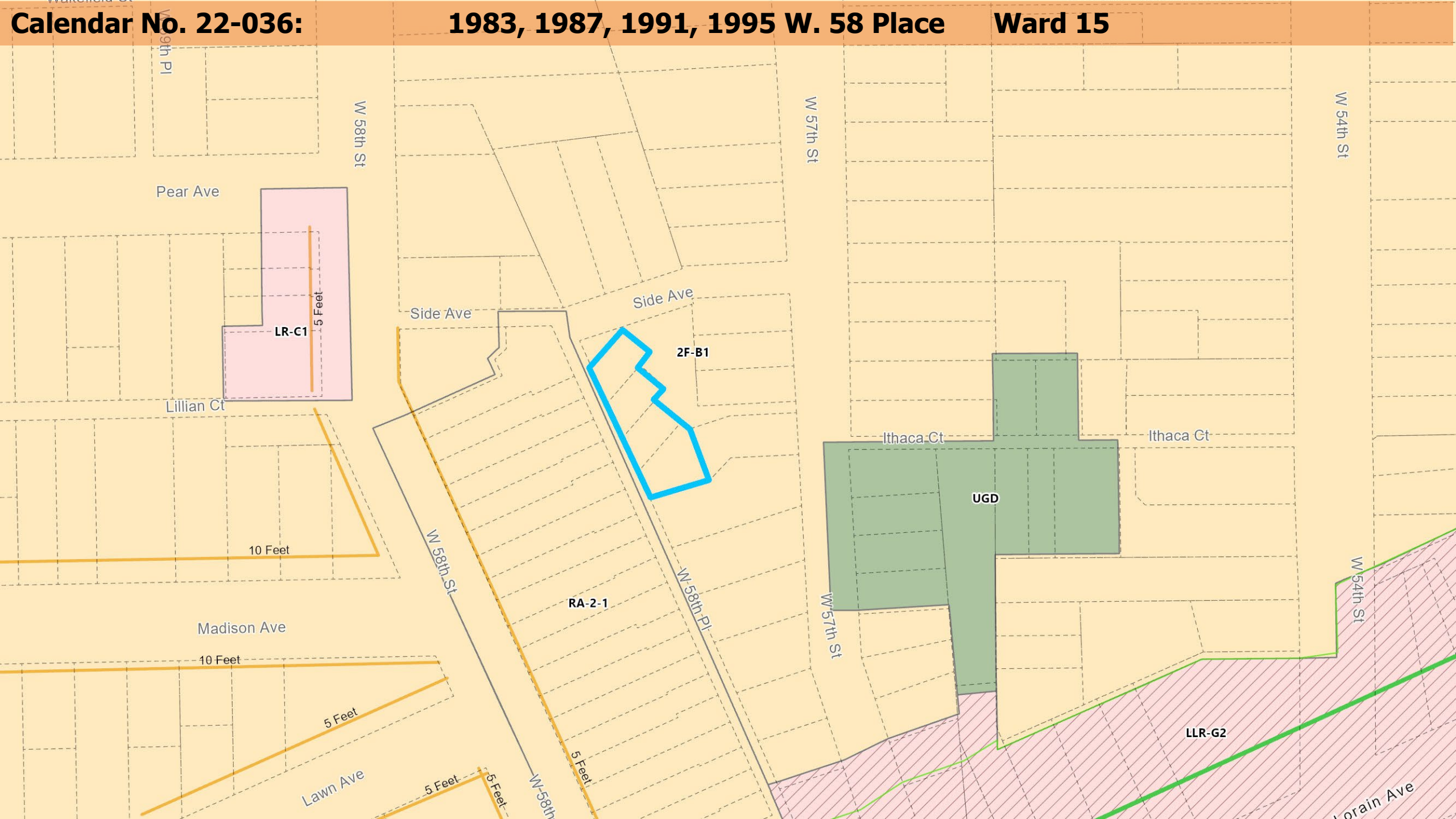
Madam Chair, Members of the Board, Appellant is requesting area variances from the maximum gross floor area, minimum lot area, minimum lot width, maximum building height, and minimum rear yard depth regulations of the zoning code.

To obtain the area variances, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variances will not be contrary to the purpose and intent of the zoning code.





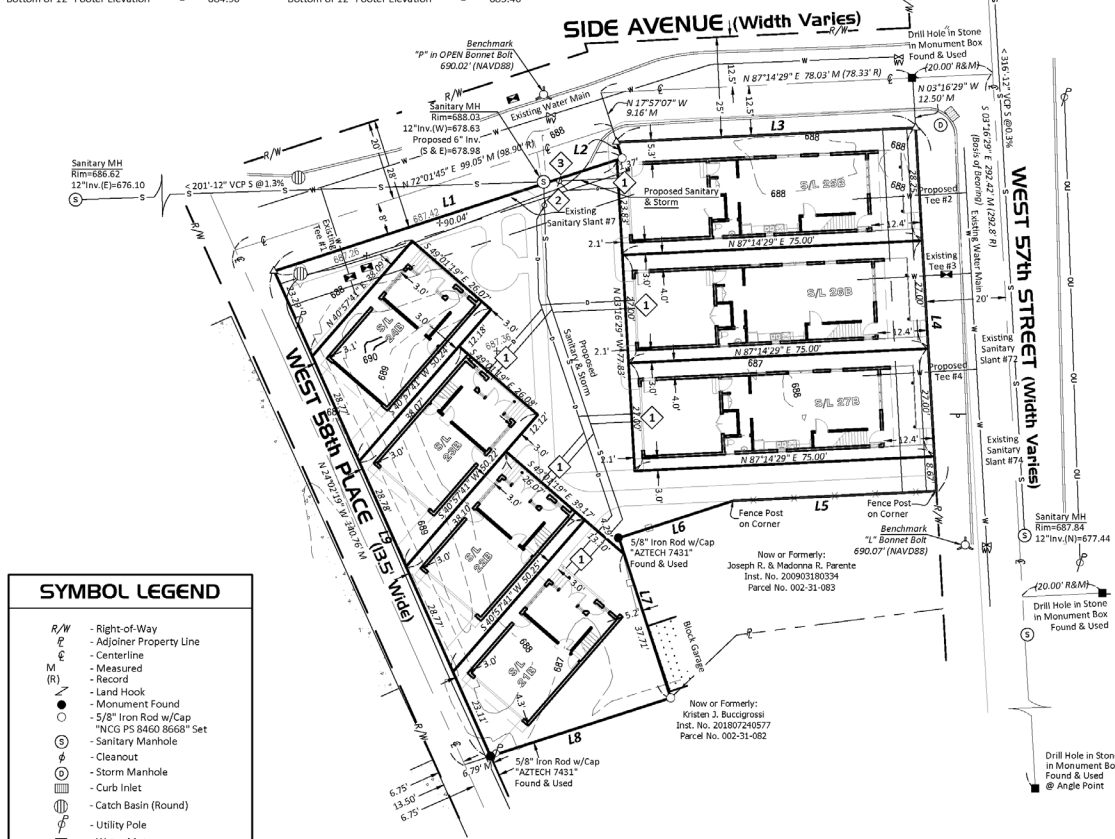


SUBLOT DETAILS

S/L 218 (1995 W 58th Place)	
First Floor Finished Floor Elevation	= 688.93
Garage Floor Elevation	= 687.20
Top of 12" Footer Elevation	= 685.60
Bottom of 12" Footer Elevation	= 684.60
S/L 228 (1991 W 58th Place)	
First Floor Finished Floor Elevation	= 689.13
Garage Floor Elevation	= 687.80
Top of 12" Footer Elevation	= 685.80
Bottom of 12" Footer Elevation	= 684.80
S/L 238 (1987 W 58th Place)	
First Floor Finished Floor Elevation	= 689.23
Garage Floor Elevation	= 687.90
Top of 12" Footer Elevation	= 685.90
Bottom of 12" Footer Elevation	= 684.90

S/L 248 (1983 W 58th Place)	
First Floor Finished Floor Elevation	= 689.33
Garage Floor Elevation	= 688.00
Top of 12" Footer Elevation	= 686.00
Bottom of 12" Footer Elevation	= 685.00
S/L 258 (1946 W 57th Street)	
First Floor Finished Floor Elevation	= 689.73
Garage Floor Elevation	= 688.40
Top of 12" Footer Elevation	= 686.40
Bottom of 12" Footer Elevation	= 685.40
S/L 268 (1950 W 57th Street)	
First Floor Finished Floor Elevation	= 689.73
Garage Floor Elevation	= 688.40
Top of 12" Footer Elevation	= 686.40
Bottom of 12" Footer Elevation	= 685.40

S/L 278 (1954 W 57th Street)	
First Floor Finished Floor Elevation	= 689.73
Garage Floor Elevation	= 688.40
Top of 12" Footer Elevation	= 686.40
Bottom of 12" Footer Elevation	= 685.40



SYMBOL LEGEND

R/W	- Right-of-Way
ℓ	- Adjoiner Property Line
⊕	- Centerline
M	- Measured
(R)	- Record
⌒	- Land Hook
●	- Monument
○	- 5/8" Iron Rod w/Cap
⊙	- "NCG PS 8460 8668" Set
⊙	- Sanitary Manhole
⊙	- Cleanout
⊙	- Storm Manhole
⊙	- Curb Inlet
⊙	- Catch Basin (Round)
⊙	- Utility Pole
⊙	- Water Meter
⊙	- Fire Hydrant
⊙	- Water Valve
⊙	- Sign
⊙	- Underground Gas
⊙	- Underground Sanitary
⊙	- Underground Storm
⊙	- Underground Water
⊙	- Overhead Utilities
⊙	- Wood Fence
⊙	- Chain Link Fence
⊙	- Concrete Area
⊙	- Building Area
⊙	- 1' Elevation Contour
⊙	- 5' Elevation Contour
⊙	- Spot Elevation
⊙	- VCP
⊙	- Vitrified Clay Pipe

WATER CONNECTION NOTES

Waterline connections:
Proposed connection #1 is 60' from existing fire hydrant.
Existing connection #2 is 88' from existing fire hydrant.
Proposed connection #3 is 68' from existing fire hydrant.
Existing connection #4 is 44' from existing fire hydrant.

STORM & SANITARY NOTES

- Proposed individual 6" storm and sanitary connections (@ 1% slope minimum) for each unit.
- All proposed storm and sanitary connections combine into a single existing 6" VCP combined sewer connection (@ 1% slope minimum) at proposed test tees (as shown).
- Proposed 6" Sanitary Test Tee Inv. = -679.38
- Proposed 6" Sanitary Test Tee Inv. = -679.38

As-Built notes from Vol. 4, Pages 139 & 141, Vol. 18, Page 151

NORTH



MISCELLANEOUS NOTES

- There is direct access to the subject property via Side Avenue, West 58th Place, and West 57th Street, all public right-of-ways.
- The location of the underground utilities shown hereon have been obtained by searches of available records, diligent field check, and field verified where accessible only. It is believed that they are essentially correct, but their accuracy or completeness is not guaranteed; therefore the contractor is urged to proceed with caution, follow the procedure for contacting the utility protection service prior to commencing construction, and field verify for accuracy, location and conditions.
- Proposed House Elevations:**
- A silt fence is to be installed around the entire perimeter of the proposed construction and building, and all storm inlets will be protected.
- Do not wash out concrete trucks into storm sewers.
- The limits of soil disturbance is the area within the silt fence line as shown.
- Inlet protection to be provided for all ingress points to the storm system. Once proposed storm inlet structures are constructed, they are to be protected throughout the entire construction process.

GENERAL CONSTRUCTION SCHEDULE

- Install silt protection and inlet protection.
- Perform demolition and clearing required prior to earthwork/excavation.
- Construct storm water catch basins and related structures.
- Flow of existing watercourses to be maintained until permanent waterways and storm water control structures are constructed. The existing water courses are to be protected from site sediment contamination, including existing storm water inlets and structures.
- Site grading operation and construction of the proposed residential structure to begin.
- At completion of grading operation, temporary or permanent seed and mulching shall be installed.
- At completion of permanent storm water control structures, and when site is sufficiently stable, the temporary sedimentation and erosion control items shall be removed.
- The contractor must obtain a sewer permit from the City of Cleveland, Division of Water Pollution Control, prior to performing the sewer work.
- A 15" x 6" VCP wye is required to tie the proposed 8" combined connection to the main combined sewer on Side Avenue & West 57th Street.

BASIS OF BEARING

The Basis of Bearing for this survey is Grid North of the Ohio State Plane Coordinate System, North Zone (FIPS Zone 3401), on the North American Datum of 1983(2011). GPS Observations were used to establish a bearing of South 03°16'29" East for the centerline of West 57th Street.

BENCHMARK

Hydrant located along the north right-of-way line of Side Avenue north of the center of the surveyed property.
Benchmark is the "P" in "OPEN" bonnet bolt of the fire hydrant.
Elevation=690.02'

All elevations are shown in NAVD 88

CERTIFICATION

I hereby certify that this map or plat and the field survey on which it is based were made in accordance with the Minimum Standards for Boundary Surveys in the State of Ohio, Chapter 4733-37 of the Ohio Administrative Code.

The field work was completed on March 22, 2020.

Date of Plat or Map: January 3, 2020

Eric S. Jackson, PS
Ohio Professional Surveyor No. 8668
ejackson@northcoastgeo.com

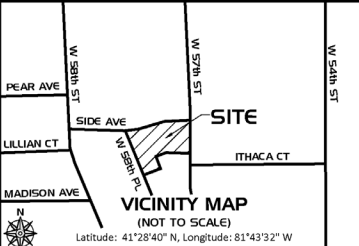
Signature Date:

NORTH COAST GEOMATICS Mapping & Surveying - northcoastgeo.com

173 Owosso Ave
Fairlawn, OH 44333
(614) 519-3611

Project No. NCG 2399
Drafted by: ESJ

SHEET
OF



REVISION HISTORY

BY:	DATE:	COMMENT:
ESJ	02/14/2020	UTILITY CONNECTIONS
ESJ	02/19/2020	SITE PLAN FOR S/L SA
ESJ	06/22/2021	REVISED SUBLOTS AND PROP. HOUSES
ESJ	10/08/2021	REVISED UTILITY CONNECTIONS
ESJ	10/30/2021	COMMENTS

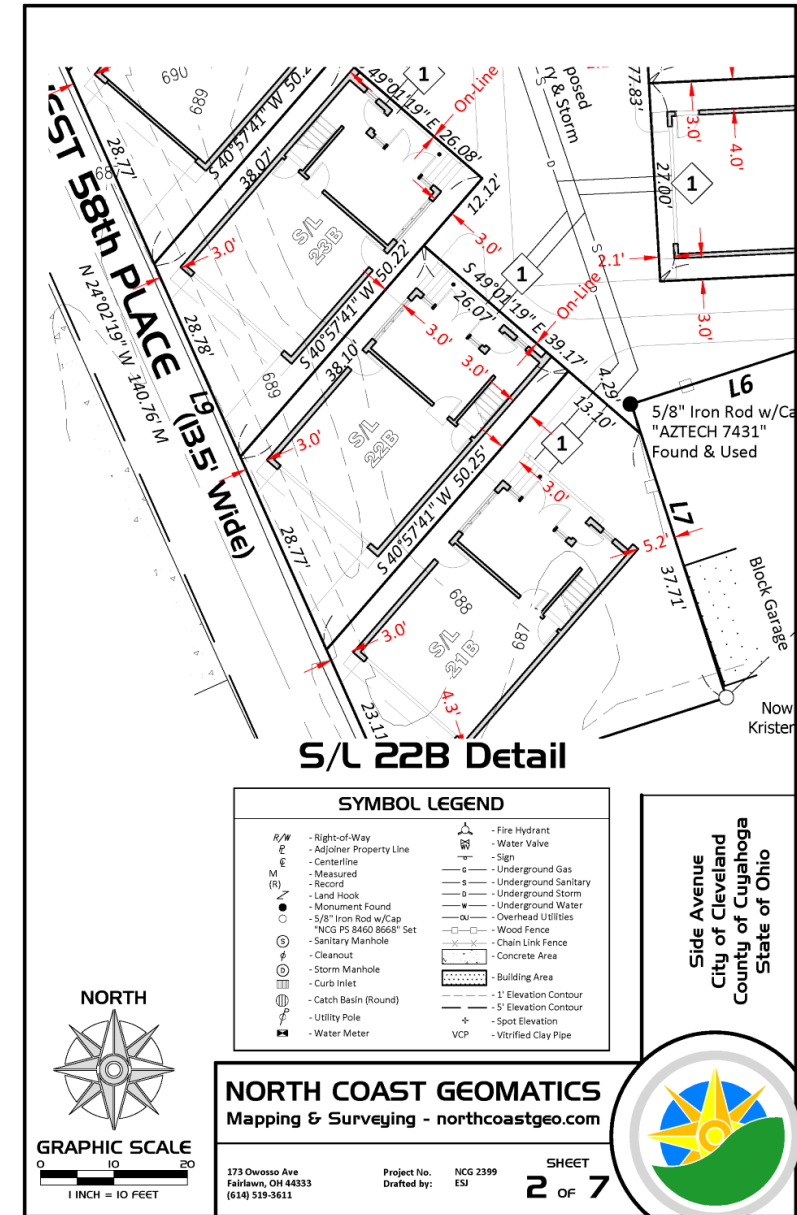
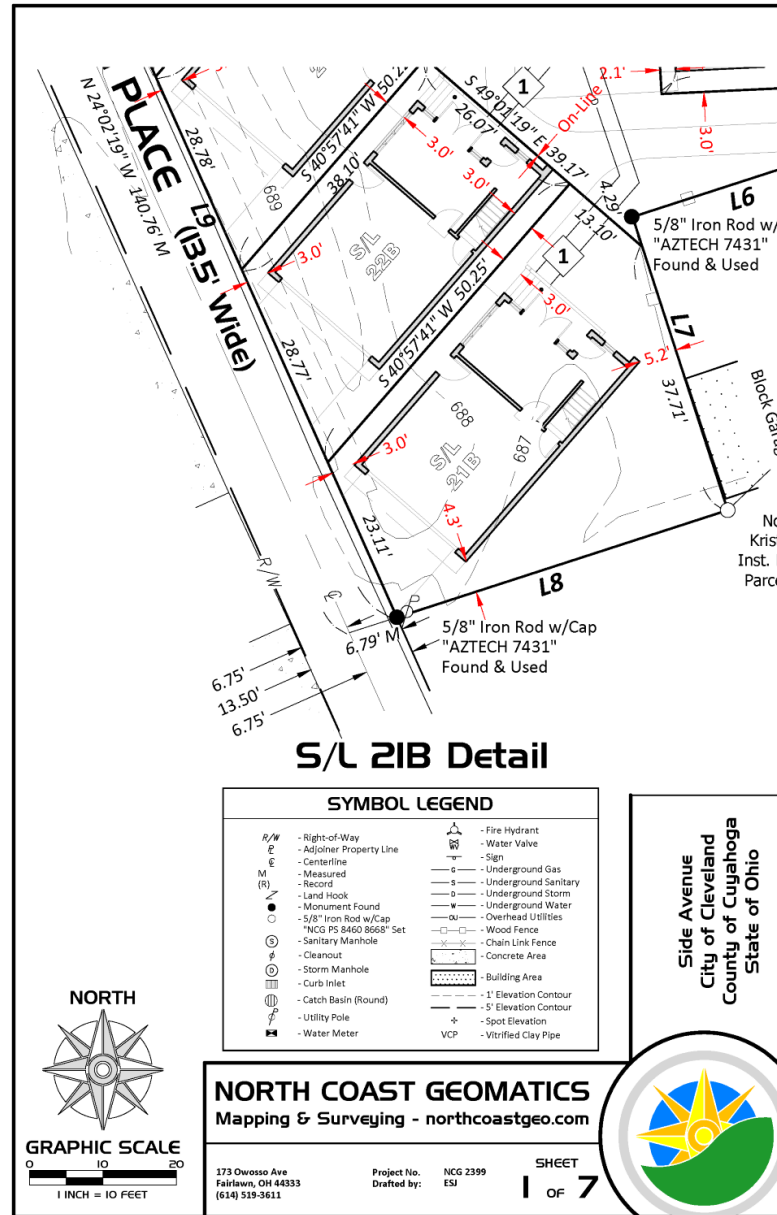
SITE PLAN SURVEY PREPARED FOR:

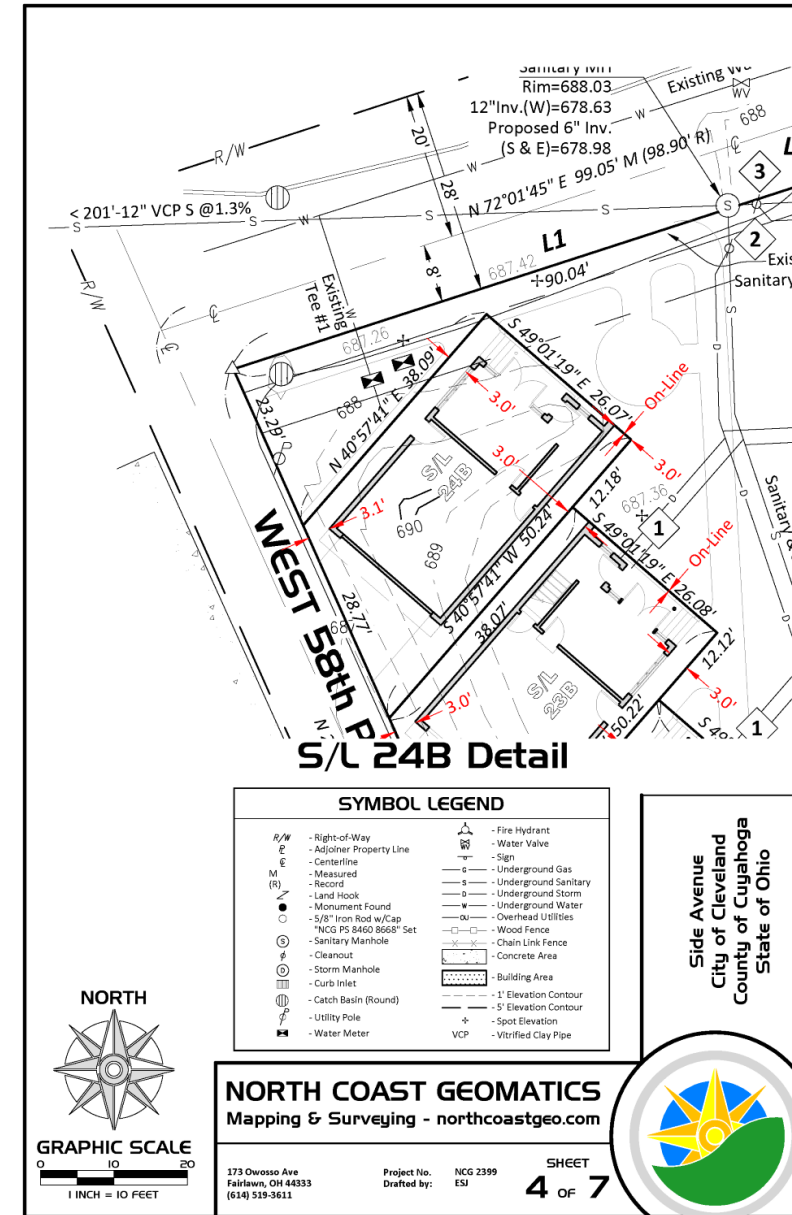
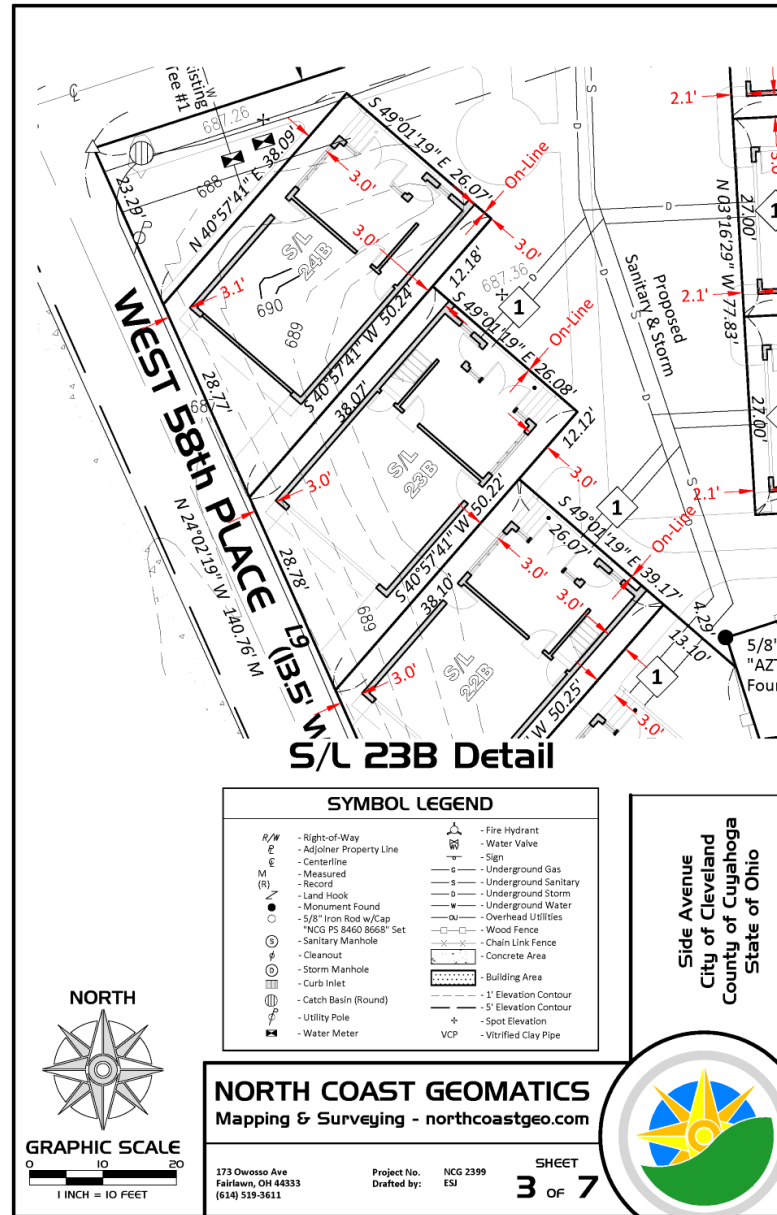
KEYSTATE HOMES

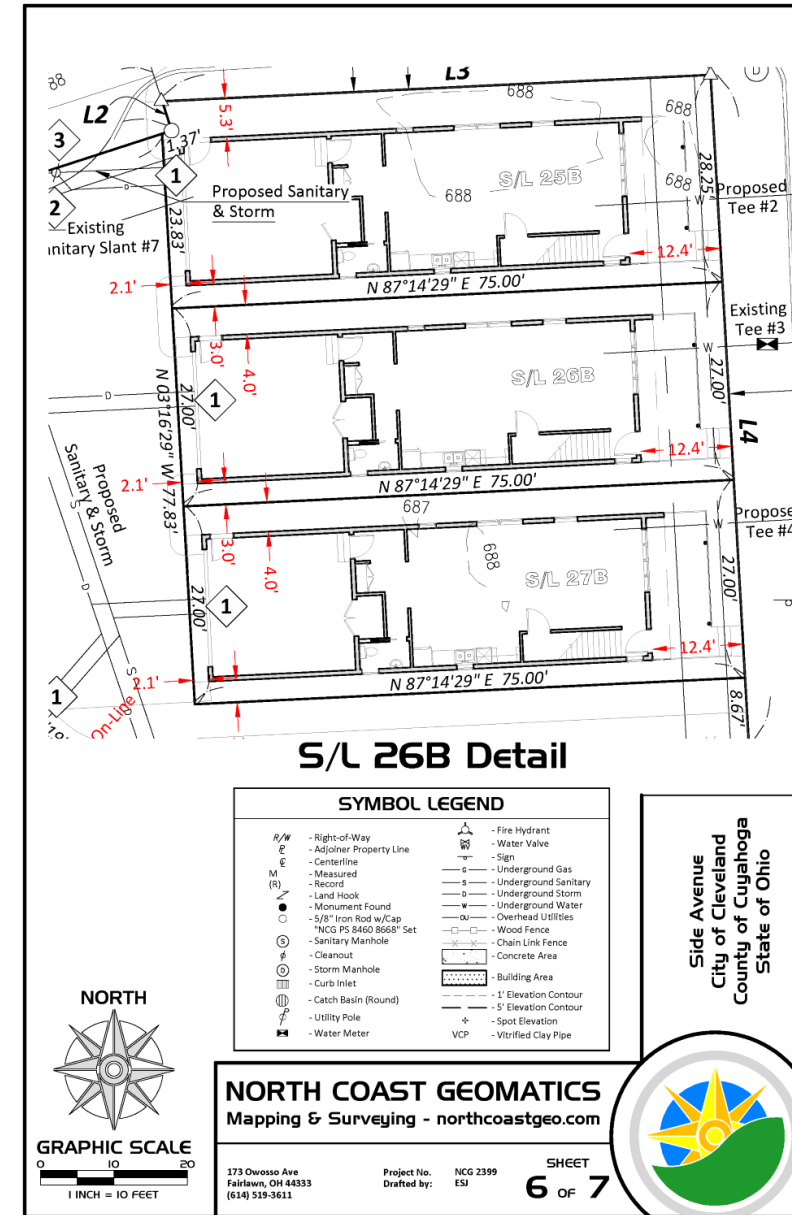
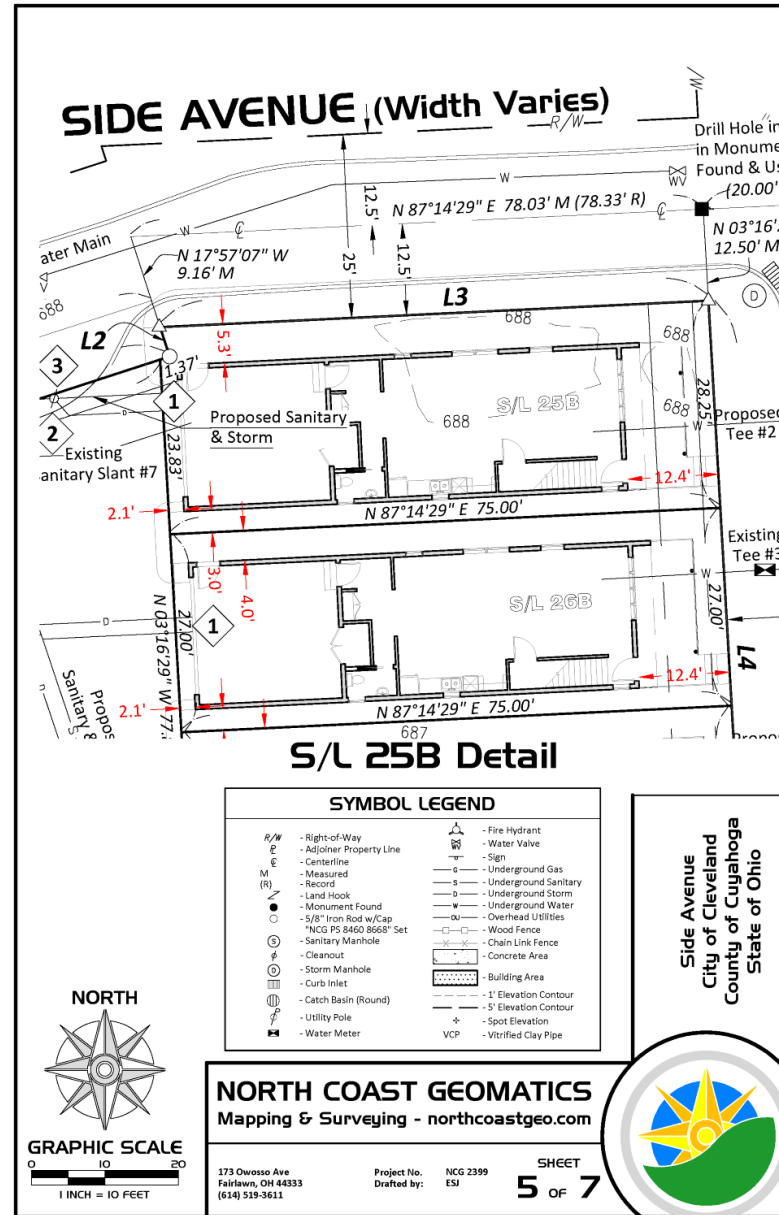
3357 Old Barbours Road
Pepper Pike, OH 44124

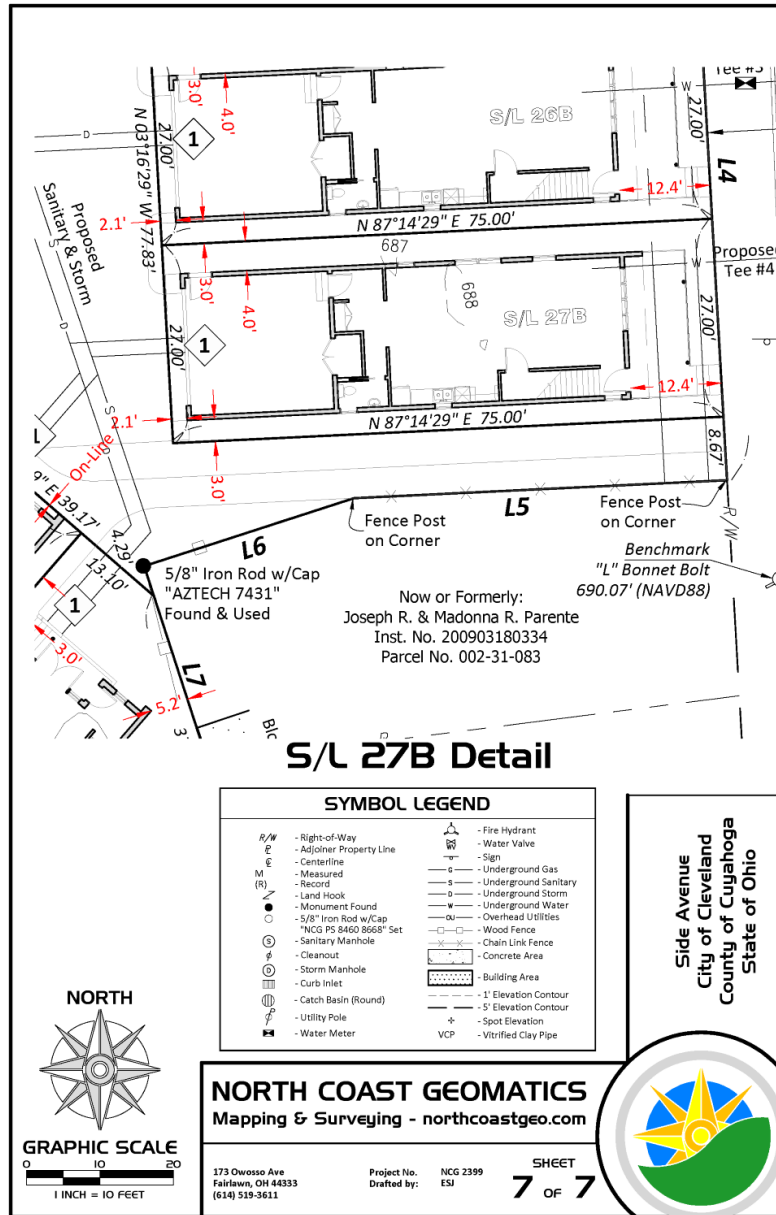
Side Avenue
City of Cleveland
County of Cuyahoga
State of Ohio

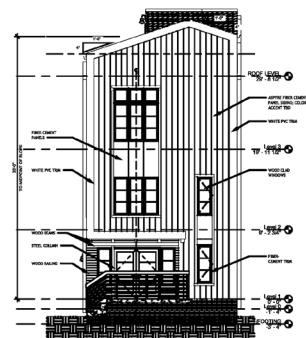




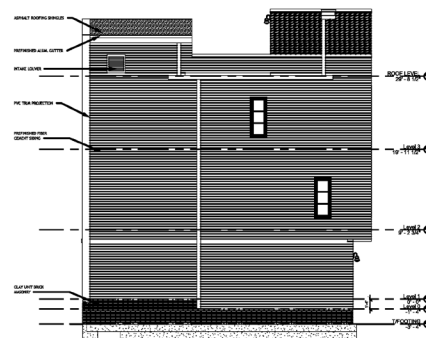




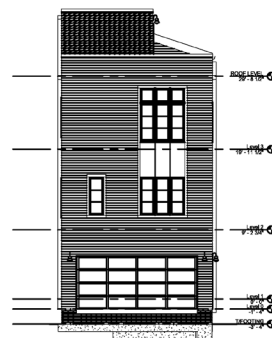




1 2-CAR UNIT
FRONT ELEVATION
A1.2b SCALE: 1/8"=1'-0"



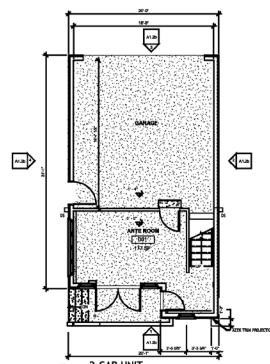
2 2-CAR UNIT
RIGHT SIDE ELEVATION
A1.2b SCALE: 1/8"=1'-0"



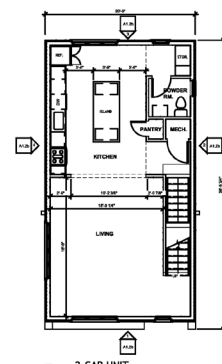
3 2-CAR UNIT
REAR ELEVATION
A1.2b SCALE: 1/8"=1'-0"



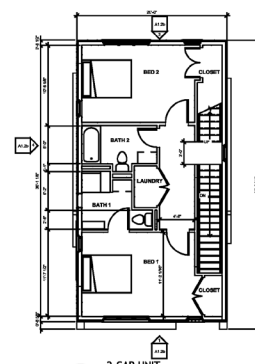
4 2-CAR UNIT
LEFT SIDE ELEVATION
A1.2b SCALE: 1/8"=1'-0"



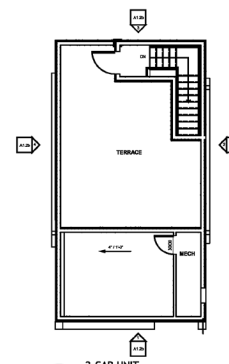
A 2-CAR UNIT
FIRST FLOOR PLAN
A1.2b SCALE: 1/8"=1'-0"



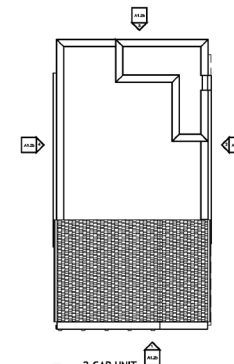
B 2-CAR UNIT
SECOND FLOOR PLAN
A1.2b SCALE: 1/8"=1'-0"



C Z-CAR UNIT
THIRD FLOOR PLAN
A1.2b SCALE: 1/8"=1'-0"



D **2-CAR UNIT**
ROOF LEVEL FLOOR PLAN
A1.2b SCALE: 1/8"=1'-0"



E
A1.2b

NEW OKO HOUSING DEVELOPMENT
S/L's 1A, 2A, 3A, 4A, 5A, 6A, 7A, 8A, AND 9A

SIDE AVENUE | WEST 57 TH STREET | WEST 58 TH PLACE
CLEVELAND, OHIO, 44102

ISSUE DATE:	REA: 9-17-00
DRAWN BY:	
CHECKED BY:	
JOB NO. (BATCH)	T001-A

B-TYPE UNIT 2 CAR PLANS & ELEVATIONS

A1.2b

SUBLOTS 1A, 4A, & 5A



Gerard J. Neola, Jr., License No. 8291
Expiration Date 12/31/2021

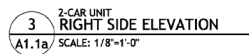
DESIGN AND CONSTRUCTION DOCUMENTS
AS INSTRUMENTS OF SERVICE ARE
GIVEN IN CONFIDENCE AND REMAIN
THE PROPERTY OF CORNERSTONE
ARCHITECTURE, LLC. THE USE OF THESE
DESIGN AND CONSTRUCTION DOCUMENTS
FOR PURPOSES OTHER THAN THE
SPECIFIC PROJECT NAMED HEREIN IS
STRICTLY PROHIBITED WITHOUT THE
EXPRESSED WRITTEN CONSENT OF
CORNERSTONE ARCHITECTURE, LLC.

NEW OKO HOUSING DEVELOPMENT
S/L's 1A, 2A, 3A, 4A, 5A, 6A, 7A, 8A, AND 9A
SIDE AVENUE | WEST 57 TH STREET | WEST 58 TH PLACE
CLEVELAND, OHIO, 44102

ISSUE DATE:	MAY 9-13-00
DRAWN BY:	
CHECKED BY:	
DATE DRAWN:	2003-A

A-TYPE UNIT 2 CAR PLANS & ELEVATIONS

A1.2a



SUBLOTS 7A, 8A, & 9A

Public Hearing

Calendar No. 22-042:

4618 Tillman Ave.

Ward 15

Susanne Degennaro, owner, proposes to erect a three story two family residence with attached garage in a B1 Two-Family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. 353.02 which states that in a '1' Height District building height shall not exceed 35 feet and the appellant is proposing 37 feet.
2. Section 357.06 which states that the required front yard setback is 14.6 feet and the appellant is proposing 10 feet.
3. Section 357.09(b)(2) which states that the required minimum interior side yard is 3 feet and the appellant is proposing zero.
4. Section 355.04(b) which states that the maximum gross floor area in a 'B' Area District shall not exceed $\frac{1}{2}$ the lot size or in this case 1,650 square feet and the appellant is proposing 4,343 square feet.
5. Note: City Planning Commission approval is required and all easements require approvals from Engineering and Construction (Filed March 07, 2022)



Public Hearing

Calendar No. 22-042:

4618 Tillman Ave.

Ward 15



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.



HISTORY OF THE PROPERTY





LEGAL STANDARD

Madam Chair, Members of the Board, Appellant is requesting area variances from the maximum building height, front yard setback, minimum interior side yard, and maximum gross floor area regulations of the zoning code.

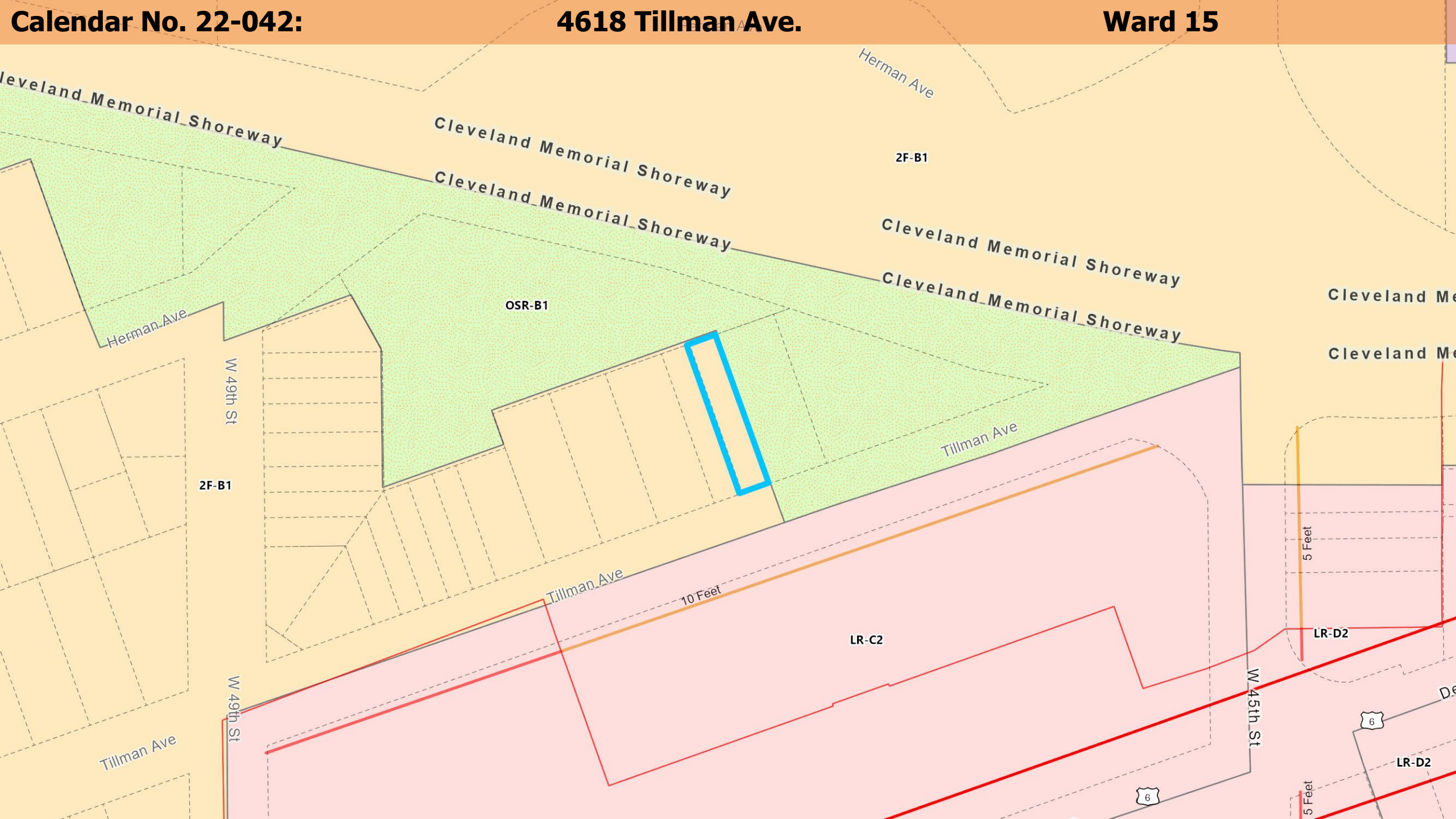
To obtain the area variances, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variances will not be contrary to the purpose and intent of the zoning code.

Please note that Section 329.04(c)(1) may limit the Board's ability to grant the requested front yard setback variance.









Garrett Morgan High School Campus

Garrett Morgan School of Leadership & Innovation



Image Landsat / Copernicus

Google Earth

41°29'17.17" N 81°43'08.52" W elev 679 ft eye alt 872 ft

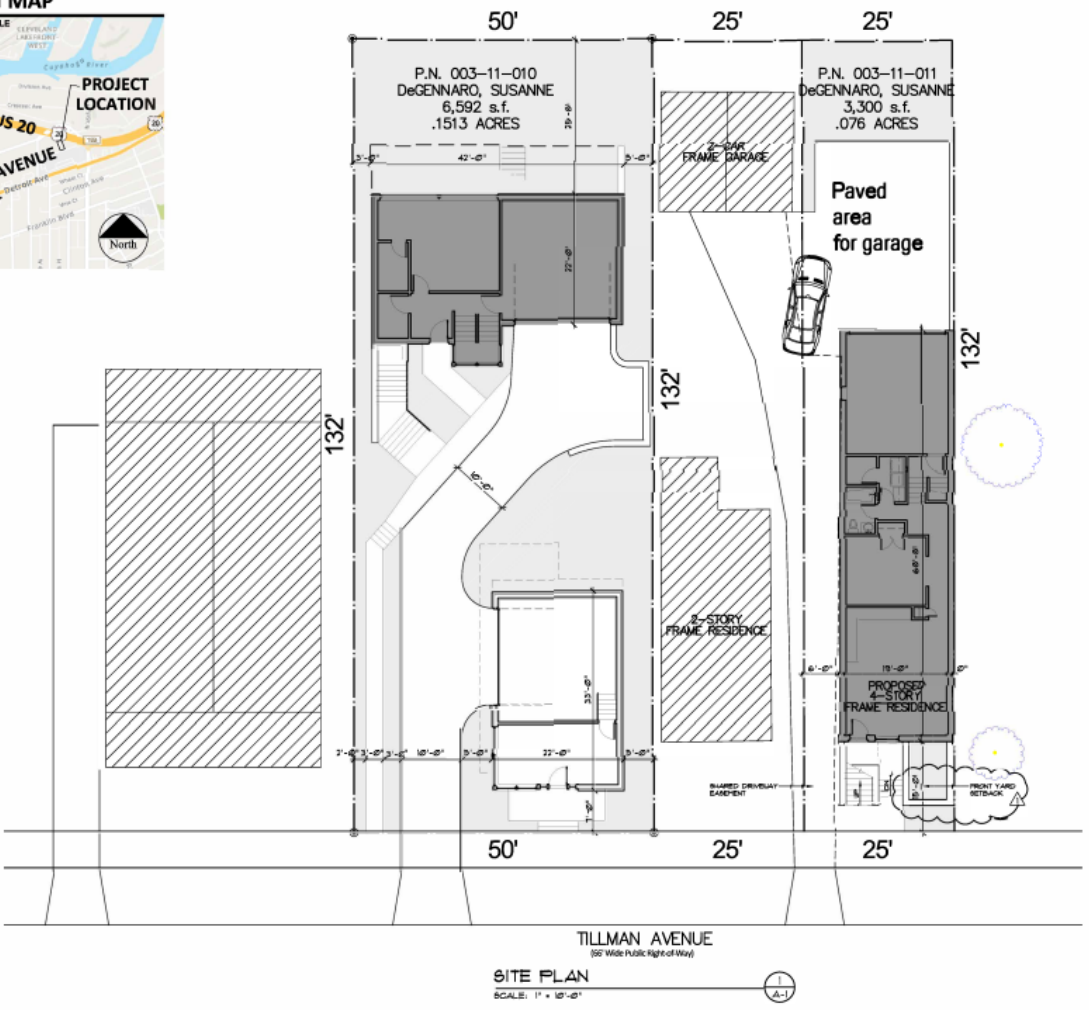
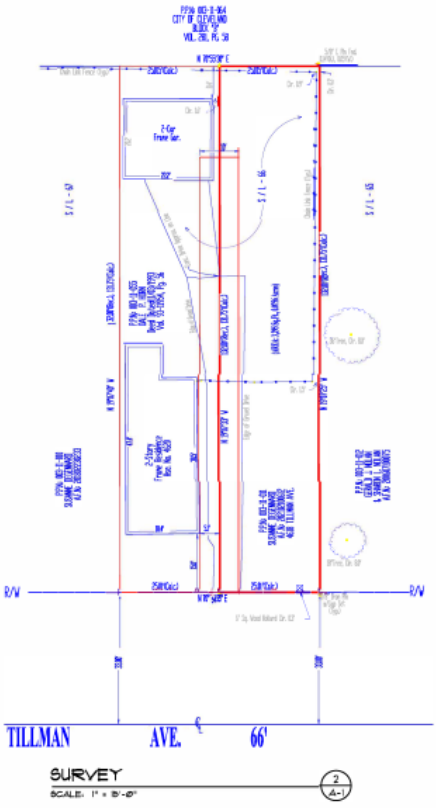


4618 Tillman Ave

Image Landsat / Copernicus

Google Earth

GENERAL INFORMATION	
OWNER:	DeGENNARO, SUSANNE 4615 TILLMAN AVENUE CUYAHOGA COUNTY CLEVELAND HEIGHTS, OHIO 44102
PROJECT LOCATION:	SAME ADDRESS NORTH SIDE OF TILLMAN AVENUE
PERMANENT PARCEL NUMBER:	003-11-011
SIDE OF STREET:	NORTH
LAND USE:	5100 - RES VACANT LOT
ZONING USE:	TWO FAMILY
PROPERTY CLASS:	R
LOT SIZE:	.076 ACRES (3,300 Sq.Ft.)
LOT SHAPE:	RECTANGULAR
TOPOGRAPHY:	LEVEL
STORY HEIGHT:	4
BASEMENT:	YES
ZONING	
OVERALL HEIGHT:	42'-3"
MID-SLOPED ROOF HEIGHT:	29'-0"
FRONT YARD SETBACK:	15'-0"
REAR YARD SETBACK:	53'-0"
EAST SIDE YARD SETBACK:	0"
WEST SIDE YARD SETBACK:	0"
*SHARED DRIVEWAY EASEMENT PER SURVEY	



REV.	DATE	DESCRIPTION
1	04/01/2022	SAVING: RETRACK REVISION

GRAPHIC SCALE: 0 10 20 FEET

North

Project	NEW RESIDENCE FOR SUSANNE DEGENNARO
Address	4290 TILLMAN AVENUE CLEVELAND, OHIO 44122
Drawing	SITE PLAN
Scale	1" = 10'-0"
Date	04/01/2022
Issue for	ZONING

KEVIN C. ROBINETTE ARCHITECTS, LLC RA

architects

STATE OF OHIO REGISTERED ARCHITECT

KEVIN C. ROBINETTE, LICENSE #7708 EXPIRATION DATE 12/31/2022

A-1



KEVIN C ROBINETTE ARCHITECT, LLC
2091 South Belvoir Boulevard
South Euclid, Ohio 44121
216.246.0246
robin.c.kevin@gmail.com

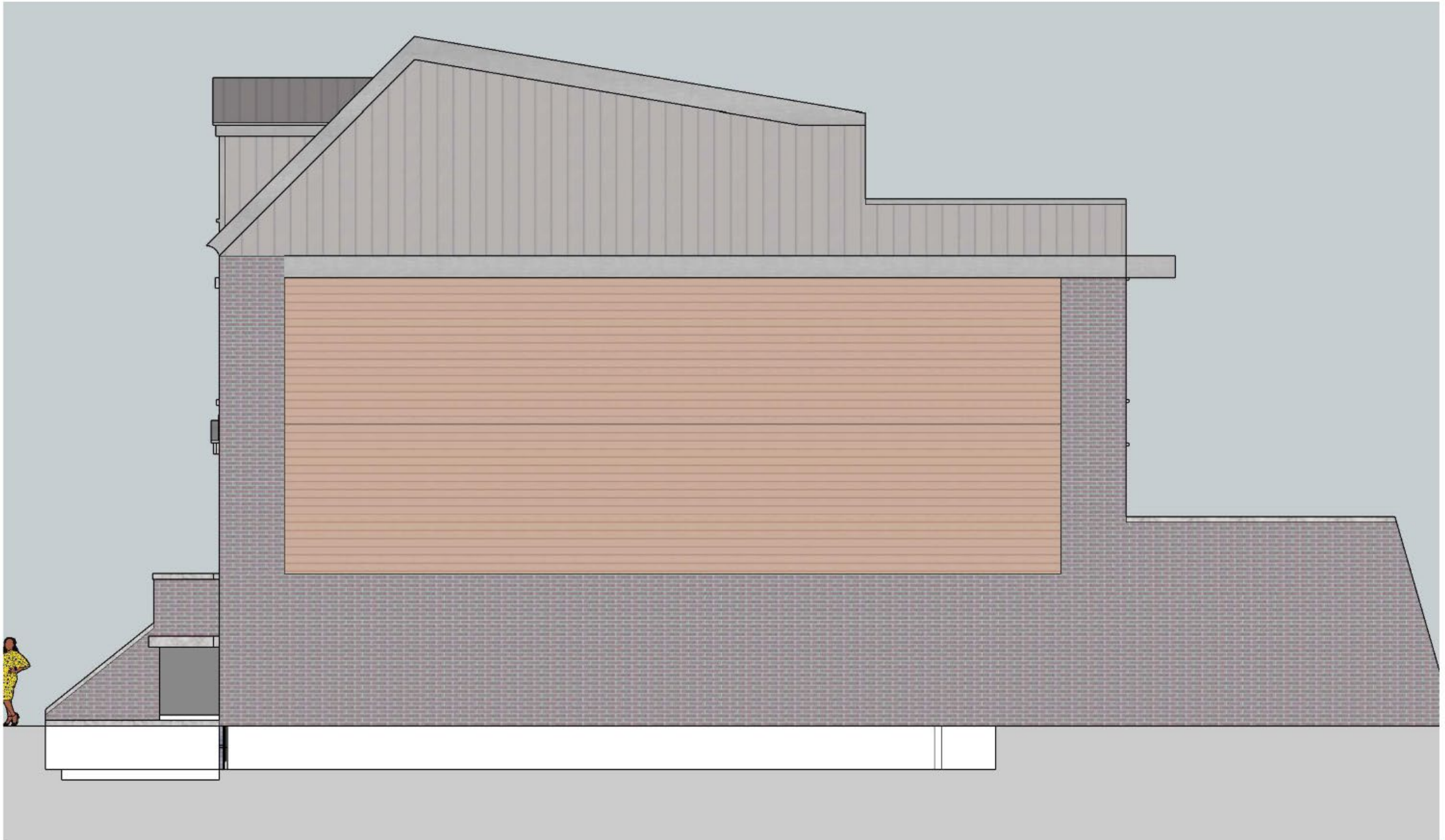
DeGenarro Residence













Cleveland Board of Zoning Appeals

Old Business



Public Hearing



1.	Cal. No. 22-011:	Kevin Sullivan/Tow Truck	(KB,TB,AF,MB)
2.	Cal.No. 22-026:	14847 Alger Rd.	(KB,TB,AF,MB)
3.	Cal. No. 22-029:	2024 Murray Hill	(KB,TB,AF,MB)
4.	Cal. No. 21-204:	11201 Shaker Blvd.	(KB,TB,AF,MB)
5.	Cal. No. 22-013:	1327 W. 102 ST	(KB,TB,AF,MB)*
6.	Cal. No. 22-014:	1250 Riverbed St.	(KB, TB, AF, MB)*
7.	Cal. No. 22-008:	1269 W. 76 Street	(KB,TB, AF, MB)
8.	Cal. No. 21-203:	8502 Hough Ave.	(KB, TB, AF, MB)*
9.	Cal. No. 21-206:	4533 Warner Rd	(KB, TB, AF, MB)*
10.	Cal. No. 21-177:	18403 Euclid Ave.	(KB, TB, MB, AF)*
11.	Cal. No. 21-141:	7202 Hague Ave.	(KB, TB, AF, MB)*
12.	Cal. No. 21-091:	4157 Lorain Ave.	(D,KB,AF,MB)*
13.	Cal. No. 21-006:	9501 Pierpoint Ave.	(J,D,KB,AF,MB)* ^{5/3/21}
14.	Cal. No. 20-098:	1854 W. 48 th Street	(J,D,KB,AF,MB)* ^{8/24/2020} (lot cons)

REQUESTS FOR AFFIRMATION : None.

REQUEST FOR REHEARING:

REQUEST FOR UPCOMING POSTPONEMENT: None.

MISC-Calendar Number 21-192 in which BR Knez appealed the decision of the City Planning Commission to deny a townhouse project and this board approved/overtured the decision. The neighbors have appealed to the Court of Common Pleas.

- ~ Items received
- * Pending the receipt of requested information by the Board.
- *** Request for Rehearing/Reconsideration.

Cleveland Board of Zoning Appeals

Adjournment

